



Design Review Board Agenda

15728 Main Street, Mill Creek, Washington 98012

June 16, 2016

5:15 p.m.

COUNCIL CHAMBERS

- | | |
|--|------------------|
| I. CALL TO ORDER: | 5:15 p.m. |
| II. ROLL CALL: | 5:15 p.m. |
| III. APPROVAL OF MINUTES: | 5:16 p.m. |
| A. Approval of May 19, 2016 Meeting Minutes ⁽¹⁾ | |
| IV. NEW BUSINESS: | 5:17 p.m. |
| A. Vintage at Mill Creek PL 2015-0017 – Building Elevations and Landscaping ⁽²⁾ | |
| V. ADJOURNMENT: | 6:00 p.m. |

ATTACHMENTS:

1. May 19, 2016 Meeting Minutes
2. Staff report

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**CITY OF MILL CREEK
DESIGN REVIEW BOARD MEETING MINUTES
May 19, 2016**

Draft

DRB Members:

Dave Gunter, Chair
Beverly Tiedje, Vice Chair
D. Wayne Bisom (5:19 p.m.)
David Hambelton
Tina Hastings

Community Development Staff:
Camille Chriest, Senior Planner
Sherrie Ringstad, Planning Specialist

I. CALL TO ORDER:

DRB Chair Gunter called the meeting to order at 5:19 p.m.

II. ROLL CALL:

All members were present as noted above.

III. MINUTES:

A. Minutes of April 21, 2016

MOTION: Vice Chair Tiedje moved, seconded by Member Bisom, to approve the April 21, 2016 minutes as presented. The motion was approved unanimously.

IV. NEW BUSINESS:

Chair Gunter noted for the record that he is acquainted with the owner of Mill Creek Sports and stated that he feels in spite of the acquaintance he could still make an objective decision and asked if there were any objections to his participation in the review. No objections were expressed.

Mill Creek Sports, Elevations and Landscaping

Senior Planner Camille Chriest noted that the project before the Design Review Board (DRB) is a commercial building proposed by Mill Creek Sports and stated that the review includes the elevations, materials and colors, as well as landscaping. She stated that the development, which was recently approved by the Hearing Examiner, is proposed to be located at the intersection of Dumas Road and the Bothell-Everett Highway. Ms. Chriest presented the staff report, which included a description of the vicinity, access, proposed elevations and trash enclosure, and a review of the design requirements. She noted that the monument signage is not under review at this time, but will come back to the DRB at a future date.

Ms. Chriest stated that the design requirements regarding landscaping encourage unity of design through repetition of plants and coordination with adjacent development, encourage the use of drought tolerant native plants, and the retention of existing vegetation. She noted that Red Sunset Maple trees are proposed in the roadway buffer along the Bothell-Everett Highway and Chanticleer Pear are proposed in the parking lot.

Senior Planner Chriest reviewed the conditions of approval and noted that staff believes the proposal is consistent with the Code and stated that staff is recommending approval.

A concern regarding whether the east elevation meets the Code requirement regarding no blank walls was raised and discussed. Senior Planner Chriest stated that staff believes the proposal does meet the Code requirements, especially with the windows on the first story and the modulation and the use of the different colors and materials.

Member Bisom had the following suggestions regarding the landscape plan, which were discussed by the Board:

It was suggested that one of the Red Sunset Maple proposed at the corner of Bothell-Everett Highway and Dumas Road be changed to a grouping of three conifers. Senior Planner Chriest noted that this might create a sight distance issue. Chair Gunter also added that it might obscure wall signs on the building. Several Board Members liked the consistency of the one street tree variety along the roadway buffer.

Member Bisom suggested mounding the 35-foot roadway buffer to get a little articulation and to soften things. Member Hastings noted that mounding would affect the clearing and grading plans that have already been submitted. It was the consensus of the Board that in light of the potential impact on plans that have already been prepared, mounding would not be recommended.

It was suggested that the trees in the two planter beds by the front door be changed to smaller accent trees to give the front entry a little bit of character. It was the consensus of the DRB Members that the trees in the two planter beds by the entry door on the west elevations should be changed to smaller accent trees such as multi-trunk Japanese Maples.

MOTION: Member Hambelton moved, seconded by Member Bisom, to approve the proposed building elevations and landscaping for Mill Creek Sports as conditioned in the staff report and with the additional condition added by the DRB:

- In the parking lot landscaping, the trees in the two planter beds next to the front entry door, which are shown on the plans as Chanticleer Pear, shall be replaced with Japanese Maple trees.

The motion was approved unanimously.

V. ADJOURNMENT:

MOTION: Chair Gunter adjourned the meeting with the consensus of the Board Members at 5:45 p.m.

Submitted by:

Sherrie Ringstad, Planning Specialist

**CITY OF MILL CREEK
DESIGN REVIEW BOARD
APPLICATION PL2015-0017**

PART I - SUMMARY INFORMATION

NAME OF PROJECT: Vintage at Mill Creek

APPLICANT: Dane Knudson
n + o Architects
502 West Riverside, Suite 200
Spokane, WA 99201

LOCATION: The project is located in the East Gateway Urban Village on the south side of 132nd Street SE at 41st Avenue SE (**Attachment 1 – Vicinity Map**).

PROPOSAL: Building elevations, colors, and materials, landscaping and a freestanding sign for a new mixed-use development.

ZONING: East Gateway Urban Village (EGUV)

PART II – STATUTORY REQUIREMENTS

Building Elevations, Materials, Colors, and Landscaping:

In accordance with Mill Creek Municipal Code (MCMC) Section 17.34.020, the Design Review Board (DRB) reviews building elevations, materials, and colors, landscaping and freestanding signs for commercial and multifamily developments. This project is being reviewed in accordance with the standards in MCMC Section 17.34.040 and MCMC Chapter 17.26, the East Gateway Urban Village (EGUV) Design Guidelines, and the Hearing Examiner Decision for the Binding Site Plan.

Wall signage will be reviewed administratively pursuant to MCMC Section 17.26.010.

PART III – PROJECT DESCRIPTION

Background

On July 16, 2015, the applicant brought the proposal to the Design Review Board for an informal review of the building elevations and landscape plan. A summary of the Design Review Board and staff comments from the informal review are attached for your reference (**Attachment 2**). Staff utilized these comments in review of this proposal.

Proposal

The applicant is proposing to construct two five-story buildings with 17,200 square feet of ground floor commercial/retail and a total of 216 residential units above, which will be served by 174 parking

stalls. Ninety-six of the parking stalls are proposed to be in a covered secured parking structure for the residents, and the remaining 76 parking stalls are to be surface parking.

As part of the 17,200 square feet of ground floor commercial use, in Building 1 the developer is proposing 2,800 square feet to be used as a senior center, 2,500 square feet to be used as a beauty parlor and mini-market, 500 square feet to be used as a City police satellite office, and 1,000 square feet to be used as a leasing office. The remaining 10,400 square feet of commercial area is proposed to be divided between the two buildings, 6,300 to be located in Building 1 and 4,100 square feet to be located in Building 2.

Three single-story garage buildings (Buildings 3-5) are proposed adjacent to the existing single-family homes along the southern property boundary. In addition, a 20-foot wide landscape buffer with a 6-foot wide public pedestrian trail is proposed along the southern perimeter of the site, which will connect to the east and west when the adjacent properties are developed. Landscaping and public and private open spaces are proposed, including a 50-foot wide vegetated roadway buffer with a 6-foot wide sidewalk along 132nd Street SE. A total of 57,382 square feet of dedicated open space recreation area is proposed. This includes 30,626 square feet of private open space throughout the project; including indoor recreational area, private court yards and each unit has a 6'x12' foot deck. Public open space consists of a 6,948 square foot public plaza as well as an additional 19,808 square feet of public open space throughout the site. See **Attachment 3–Site Plan, Sheet A1.0** for an overview of the site layout and **Attachment 4 – Perspectives, Sheets A9.02 & A5.06** to see how the buildings interact with the streetscape.

PART IV – PROJECT ANALYSIS

Below is an analysis and summary of the consistency of the proposal with the City's Design Guidelines:

Building Criteria:

The Code and the EGUV Design Guidelines require that buildings incorporate modulation to reduce the overall bulk and mass of buildings and to avoid blank walls. In addition, building design is required to incorporate traditional building materials such as masonry, stone, stucco, heavy timbers, brick, and other natural appearing materials. Building colors should accent, blend with, or complement surroundings. Bright or brilliant colors should be reserved for trim and accents. Where possible, building mounted utilities shall be placed within utility rooms or enclosures. In addition, the City's building design objectives call for a consistent visual identity to be applied to all sides of buildings visible to the general public and for all building sides to have an equivalent level of quality of materials, detailing, and window placement. A description of each building design is as follows:

Building 1 Proposal:

Building 1 is a five-story C shaped structure with a height of approximately 60 feet, constructed in a modern style. The ground floor will be primarily used as a parking garage with commercial uses along 133rd Street (Road B) with four floors of senior apartments above, see **Attachment 5 - Overall Floor Plan Sheet A2.1.0**. The proposed building abuts all three roadways, 132nd Street, 41st Avenue (Road A) and 133rd Street (Road B) with commercial store front access from the south along 133rd Street SE. Residential access will be from a private courtyard and surface parking located in the center of the

building and accessed by a private drive aisle. Each unit has a private 6'x12' deck. A variety of materials and colors are proposed for the body of the building to break up the mass and provide visual interest. The roofline is modulated, see *Attachment 6, Sheets A2.6.0*. The following materials are proposed; concrete podium, Crane Premium Pointe 360 vinyl board and batten siding, vinyl Market Square lap siding, brick veneer and vinyl windows. To help break up the building mass the applicant is proposing to use a combination of neutral colors in blue, cream, white, olive, bone, browns and blacks. These materials are used in various patterns to break up the building facades on each elevation. To differentiate the commercial uses from the residential, the applicant is proposing to use two different colors of trim and windows and brick veneer for the ground floor commercial. The storefronts and entries will be individual focal points and modulated along the sidewalk. See **Attachment 7, Sheets A5.01 & A5.02, Building 1 Elevations** and **Attachment 8, Sample Material Board**; physical samples will be presented at the meeting. Please note that the elevations are numbered and there is an Elevation Key on Sheets A5.01-A5.04.

As proposed the design for Building 1 is consistent with the City's design standards.

Building 2 Proposal:

Building 2 is a five-story rectangular structure with a height of approximately 60 feet, constructed in a modern style. The ground floor will be used as a parking garage with commercial uses along 133rd Street (Road B) and 41st Avenue SE and four floors of senior apartments above, see **Attached Overall Floor Plan Sheet A2.1.1**. The proposed building fronts on 133rd Street (Road B) with the primary access from the north elevation. A variety of materials and colors are proposed for the body of the building to break up the mass and provide visual interest. The roofline is modulated, see **Attached Sheet A2.6.1**. The following materials are proposed; concrete podium, Crane Premium Pointe 360 vinyl board and batten siding, vinyl Market Square lap siding, brick veneer and vinyl windows. To help break up the building mass the applicant is proposing to use a combination of neutral colors in olive, cream, white, bone, graphite, brown and black. These materials are used in various patterns to break up the building facades on each elevation. To differentiate the commercial uses from the residential the applicant is proposing to use two different colors of trim and windows and brick veneer for the ground floor commercial. The storefronts and entries will be individual focal points and modulated along the sidewalk. See **Attachment 7, Sheet A5.03, Building 2 Elevations** and **Attachment 8, Sample Material Board**; physical samples will be presented at the meeting.

As proposed the design for Building 2 is consistent with the City's design standards.

Buildings 3, 4 and 5 Proposal:

Buildings 3, 4 and 5 are single-story residential garages to be used for parking for the residential units. The maximum height allowed is 35 feet high and the applicant is proposing approximately 12 feet. These three buildings will also function as a transition and buffer between the residential homes to the south and the five-story buildings. The following materials are proposed; Crane vinyl lap siding in olive and white garage doors. See **Attachment 7, Sheet A5.04, Building 3-5 Elevations** and **Attachment 8 Sample Material Board**; physical samples will be presented at the meeting.

Building 3, 4 and 5 have an equal level of detail for each elevation. As proposed, the building design is consistent with the City's design standards.

Outdoor Mechanical Criteria:

The Code and the EGUV Design Guidelines require that outdoor mechanical equipment, including ground level and rooftop mechanical and communication equipment shall be screened from view. The method of screening shall be architecturally integrated with the building with respect to materials, color, shape, and size.

Outdoor Mechanical Proposal:

All heating and air conditioning units on the rooftop will be concealed from the public view by the building gables and parapets. The proposed roof plans are consistent with the City's design standards and screening requirements. See **Attachment 7, Building Elevations** and **Attachment 6, Roof Plans**.

The applicant has yet to submit a plan showing the final locations and sizes of the above ground utility boxes. Staff is recommending that the applicant be required to submit a utility plan showing the location, size and screening of the utilities for City review and approval prior to issuance of the clearing and grading plan.

Dumpster Criteria:

The Code and the EGUV Design Guidelines require that on-site service facilities, such as loading docks, dumpsters, etc., shall be located in areas least visible from the right-of-way and public spaces. Service areas shall be screened from view using landscaping or screen walls.

The applicant is proposing to locate the dumpsters within the parking garages in Building 1 and Building 2 and daily pick-up is proposed. As proposed, the dumpsters will be completely secured and screened from the public view; thus, they meet the City's screening requirements, and are consistent with the City's design standards.

Landscaping Criteria:

The City Code requires that project landscaping provide unity of design through repetition of plants and coordination with adjacent developments. The Code requires landscape materials to be a hardy species adaptable to local conditions, easily maintained, and drought tolerant. Use of native plants and the retention of existing vegetation are strongly encouraged. In addition, required perimeter setback areas and parking lot landscape islands shall be densely landscaped with a combination of trees, shrubs, and groundcover to provide 90 percent coverage within three years of planting.

The EGUV Design Guidelines include provisions for public and private plazas and right-of-way landscaping, bike racks, benches and planting pots or other hardscape elements. A 20-foot perimeter landscape buffer along the southern property line with a public trail and landscaping is to be provided with amenities such as benches and pedestrian lighting.

The applicant has selected a mix of native and ornamental plants and is also providing an irrigation system as required by MCMC Section 17.34.040.H.1.d. See **Attachment 9, Landscape Plan, Sheets L1.1, L1.2 (large size), and Sheets L1.6, L1.7, L1.10 and L1.11 (11 ½" x 17")** and **Attachment 10, Plant Photos** for landscape planting details and plant list with photos. Following is a description of the proposed landscaping:

Roadway Buffer:

In the roadway buffer along 132nd Street (SR 96), the applicant is proposing to remove the existing sidewalk and replace it with a meandering sidewalk. The existing street trees, which are a cultivar of Norway Maple, will be retained and the one missing street tree will be replaced with a matching tree. Sod is proposed on either side of the meandering sidewalk. In addition, a row of Green Vase Zelkova are proposed in a landscape bed closer to the building, along with primarily native shrubs and groundcover. Two existing Douglas Fir in the northern corner of the buffer are proposed to be retained.

Street Trees:

Chanticleer pear, which are on the City's Approved Street Tree List, are currently proposed as the street tree along both public streets and proposed to be in tree grates as required by the Design Guidelines. The applicant is also proposing benches along 41st Avenue SE (Road A) and benches, trash cans and flower pots in the public plazas on 133rd Street SE (Road B).

Interior Private Plaza and Parking Lot:

A private plaza is proposed in the interior parking lot area of Building 1 along with parking lot landscape islands and foundation plantings. Chanticleer pear trees are proposed in the parking lot islands, and Skyline Honeylocust are proposed on either side of the primary building entrance as accent trees. The plaza features a raised planter seat wall with a trellis, tables, a fire pit and chairs. The plaza will be standard concrete paving with a 2' 6" x 2' 6" grid pattern, and an accent area of colored concrete in a Summer Beige color.

In the parking lot adjacent to Building 2, Oregon Grape are proposed in the narrow planting bed between the retaining wall and the drive aisle on the eastern property boundary. Oregon Grape do not typically do well in hot, dry soils (such as in parking lots or strips); thus, staff is recommending that the applicant choose another shrub better suited to this location.

Perimeter Buffer Landscaping:

The perimeter buffer will feature a 6-foot concrete sidewalk, which will eventually connect to the east and west as the adjoining properties develop. The sidewalk meanders through a buffer planted with native shrubs. The Landscape Plan shows four trees to be saved; however, in the Tree Protection Plan, submitted with the Binding Site Plan application, five trees are proposed to be saved. In the perimeter buffer along the southern property boundary Tree #25 Cedar, Trees #21 and #22 both Cedar, Tree #16 Cedar, and Tree #14 Douglas fir. As a Condition of Approval, staff is requesting that the applicant change the landscape plan to accurately identify the trees to be retained.

There is a Cedar (Tree #15 on the Tree Protection Plan) close to the Douglas fir (#14) that has not been proposed to be saved. The Tree Protection Plan identifies this tree as being in fair condition and stated that it could potentially be saved. Given the proximity to the Douglas fir and the fact that it is likely far enough away from the proposed garages to be saved, staff is recommending that this tree also be retained if possible.

Some of the trees proposed to be saved are close to the proposed garage structures and it may not be feasible to save them. If they are unable to be saved, replacement evergreen trees will be required to ensure that the buffer has adequate screening for the adjacent residential properties.

There are several trees along the southern boundary that must be removed for construction, which will ultimately significantly reduce the visual buffer from the adjacent residential development. Currently four Bowhall Maple are proposed in between the saved trees to augment the buffer landscaping. The Bowhall Maple is a columnar species with a mature spread of 15 feet. Staff is recommending that another species with a wider mature spread be substituted for the Bowhall Maple to increase the buffering potential.

Freestanding Sign Criteria

In accordance with MCMC Section 17.26.020.E.7 each lot, tract, parcel or building in a commercial zone which has a minimum of 80 feet of frontage on an arterial street may have one freestanding sign not exceeding 16 square feet in area and having a maximum height of 42 inches. The sign shall be located no closer than five feet to any street right-of-way or access easement. At street intersections, driveways, corner or radius lots, or other potential traffic conflict points, the sign shall not be located in an area that would obstruct the required sight distance as set forth in the current edition of the AASHTO Geometric Design Manual as determined by the city engineer. Ancillary landscaping shall be maintained to prevent vegetation from obscuring sign lettering.

Furthermore, MCMC Section 17.34.040.G requires that freestanding monument signs be designed to be complementary to, and coordinated with, building colors and be in scale and proportion with building design and other signs.

Freestanding Sign Proposal:

On the east side of 41st Avenue SE the applicant is proposing to install a double-faced brown brick monument sign with a 16 square foot sign face area and additional supporting columns, per MCMC 17.26.020.E.7. The sign is 42 inches high with up-lighting. Lettering on the sign is proposed to read "Vintage at Mill Creek" to identify the complex. See **Attachment 11, Monument Sign, Sheet A5.5**.

The proposed design is consistent with City code. However, the applicant does not show the five-foot setback from the right-of-way. Therefore, staff is requiring that the five-foot setback be shown on the building permit application for the monument sign.

PART V - FINDINGS, CONCLUSIONS, AND RECOMMENDATION

Having viewed the property and reviewed the application, City staff finds that the proposed building elevations, landscaping and freestanding monument sign are consistent with the design guidelines set forth in MCMC Section 17.34.040. Based on these findings and conclusions, staff recommends approval subject to the following conditions:

1. The design, colors and building materials shall be as portrayed on the application, except as revised in the conditions below.
2. Submit a utility plan showing the location, size and screening of the utilities for City review and approval prior to issuance of the clearing and grading plan.
3. On the Building permit submittal for the monument sign show the five-foot setback from the right-of-way.

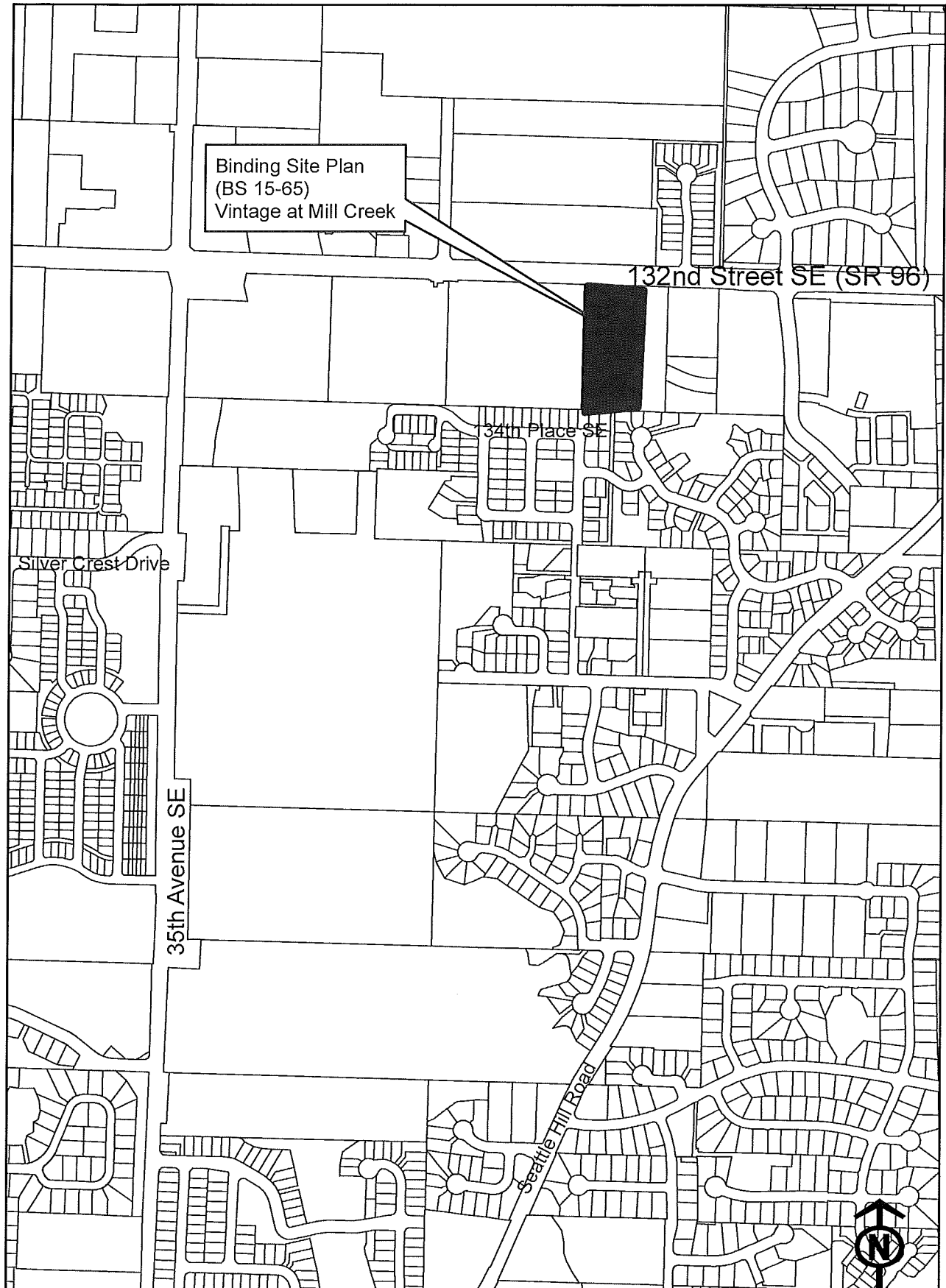
4. Wheel stops shall be provided adjacent to walkways and landscape areas, per MCMC 17.34.040.H.2.C.
5. Modify the landscape plan as follows:
 - Correct the landscape plan to accurately show the trees to be retained. In accordance with the Tree Protection Plan, submitted with the Binding Site Plan application, seven trees are proposed to be saved. In the northeast corner of the roadway buffer two Douglas fir (Trees #33 and #34), and in the perimeter buffer along the southern property boundary Tree #25 Cedar, Trees #21 and #22 both Cedar, Tree #16 Cedar, and Tree #14 Douglas fir. In addition staff is recommending that Tree #15 Cedar also be retained if possible.
 - Select another species with a wider mature spread to substitute for the Bowhall Maple proposed in the perimeter buffer.
 - Select another shrub, which is better suited for the planting conditions, to substitute for the proposed Oregon Grape in the narrow landscape bed between the retaining wall and the pavement on the eastern property boundary adjacent to Building 2.
6. Irrigation shall be provided for the landscaping per MCMC 17.34.040.H.1.d. The irrigation system will require a building permit. The permit is an over-the-counter plumbing permit, no plans required, with an inspection of the system's backflow prevention.
7. A landscape performance bond in the amount of 125% of the proposed cost of materials and installation shall be provided to the City prior to beginning installation of the landscaping, pursuant to MCMC Section 16.16.040.

ATTACHMENTS:

- | | |
|---------------|---|
| Attachment 1 | Vicinity Map |
| Attachment 2 | July 16, 2015 DRB minutes and Memorandum from Senior Planner Christi Amrine, dated July 8, 2015 |
| Attachment 3 | Site Plan, Sheet A1.0 |
| Attachment 4 | Perspectives, Sheets A9.02 & A5.06 |
| Attachment 5 | Overall Floor Plan, Sheets A2.1.0 and A2.1 |
| Attachment 6 | Roof Plans, Sheets A2.6.0-A2.6.1 |
| Attachment 7 | Building Elevations, Sheets A5.01 – A5.04 |
| Attachment 8 | Sample Materials Board Buildings |
| Attachment 9 | Landscape Plan, Sheets L1.1, L1.2 (large size) L1.6-7, L1.10-11 (11 ½" x 17") |
| Attachment 10 | Plant Photos |
| Attachment 11 | Monument Sign, Sheet A5.05 |

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Attachment 1 - Vicinity Map





**CITY OF MILL CREEK
DESIGN REVIEW BOARD MEETING MINUTES
July 16, 2015**

Approved September 17, 2015

Members:

Dave Gunter, Chair (absent)
Beverly Tiedje, Vice Chair
D. Wayne Bisom
David Hambelton
Tina Hastings

Community Development Staff:

Tom Rogers, Director of Community Development
Christi Amrine, Senior Planner

I. CALL TO ORDER:

Chair Gunter called the meeting to order at 5:15 p.m.

II. ROLL CALL:

All members were present except as noted above. Chair Gunter's absence is excused.

III. MINUTES:

A. Minutes of May 21, 2015

MOTION: Member Bisom moved, seconded by Member Hambelton, to approve the May 21, 2015 minutes as presented. The motion was approved unanimously.

IV. NEW BUSINESS:

A. DRB 15-04-473 Vintage at Mill Creek Building Elevations, Materials and Colors

Senior Planner Christi Amrine stated that the project before the DRB is an informal review for Vintage at Mill Creek. She stated that the applicant's representative would be giving the Board an overview. Ms. Amrine noted that the DRB's comments should be based on the design guidelines contained in MCMC Chapter 17.34 as well as the EGUV Design Guidelines, which were provided in the packet. She briefly described the project

and noted the board would be reviewing the building materials, elevations and colors as well as landscaping.

Chris Olson, nystrom+olson architecture, 502 W. Riverside Ave, #200, Spokane, WA
Mr. Olson, the project architect, described the project as a five-story building consisting of four stories of residential with wood frame construction over a first story of concrete, which is the commercial and at grade parking behind the retail. He explained that the purpose of the informal review is to make sure they are in-line with the direction and vision the City has for the East Gateway. In general, just to have a conversation with the Board and find out their likes, dislikes, and things they might like to see different. Mr. Olson confirmed that the apartments are independent living, not assisted living.

Mr. Olson clarified that the commercial areas will have a brick veneer and that vinyl siding is planned for the wood frame construction. He noted that a similar project was located off 164th at Ash Way. In response to a Board Member's request to describe the plazas and public space, Mr. Olson explained that the code requires wide sidewalks and bulbs on the corners, which will provide opportunities for outdoor space. In addition, there is a private outdoor space for residents. It will include benches, tables, BBQs, outdoor planters and a mixture of hardscape and softscape.

Member Hambelton expressed a concern regarding the number of different plant materials and stated that he wants to make sure it all ties together. Member Hastings stated that she believes one of the street trees is missing and asked if the applicant could be required to plant a replacement. Senior Planner Amrine said that if a tree is missing, a replacement will be required.

Vice Chair Tiedje expressed a concern about the concrete treatment of the first floor along Road A and the apparent lack of articulation. Mr. Olson stated that commercial frontage has a brick veneer and the elevation facing Road A has punched openings to provide ventilation, a painted band, and building lighting. He added that they could improve the graphics to show that it is not just a big long concrete wall. In fact, a great deal of thought was given to the modulation of the entire building.

The Board discussed the proposed use of vinyl siding with some concern being expressed with how it would look and coordinate with other projects in the EGUV that utilize the HardiePlank siding.

Mark Ossello, Inland Group, 1620 N. Mamer Road, Bldg B, Spokane Valley, WA 99216
Mr. Ossello, the project applicant, asserted that vinyl siding has improved significantly in recent years. It has a limited lifetime warranty and is more resistant to fading than it previously was. It stays crisp and projects as old as 10 years still look good, while HardiePlank siding of the same age would likely need painting, which is one of the reasons they have quit using the HardiePlank siding. Community Development Director Rogers stated that the Design Guidelines call for materials that have a sense of permanence. He stated that another option could be metal siding, which was used on the

Reserve III development. The Board had some reservations about how the vinyl siding would look but stated that they were open to looking at samples and warranty information as well as an existing development using the new vinyl siding before making a decision. They said that they would also like to see another options such as the metal.

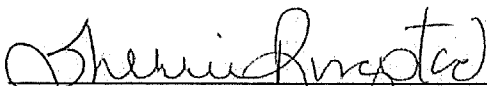
Mr. Olson confirmed that the primary areas of concern for the Board were the garage elevation fronting on Road A, and the quality of the vinyl siding proposed. He stated that they will submit more detailed plans for the formal review as well as bringing additional graphics and samples.

Community Development Director Rogers said that staff would conduct a site visit to take a look at the development on 164th Street and Ash Way, referenced by the applicant, prior to the next meeting to see the vinyl siding in person.

V. **ADJOURNMENT:**

MOTION: Member Hambelton moved, seconded by Member Bisom, to adjourn the meeting at 6:05 p.m. The motion was approved unanimously.

Submitted by:



Sherrie Ringstad, Planning Specialist

MEMORANDUM

TO: Design Review Board
FROM: Christi Amrine, Senior Planner
DATE: July 8, 2015
SUBJECT: July 16, 2015 DESIGN REVIEW BOARD MEETING

The Design Review Board will hold a regular meeting at 5:15 p.m. on Thursday, July 16, 2015, in the City Council Chambers. The one item on the agenda is an informal review of Vintage Housing at Mill Creek, a Binding Site Plan application in the East Gateway Urban Village located south of Penny Creek Elementary School.

The applicant has requested preliminary feedback from the DRB in order to refine their application for a formal review. A formal review is required after the approval of the Binding Site Plan by the Hearing Examiner and a staff report will be provided to the DRB at that time. The applicant has submitted the following items for review:

- Project Narrative
- Site Plan
- Sample Material Board
- Elevations (Sheets 1-5)
- Preliminary Landscape Plan (Sheets L1-L3)

Please reference MCMC Chapter 17.34.040, Design Review and the East Gateway Urban Village Design Guidelines for the review criteria (attached). In addition, while no formal staff report has been prepared, preliminary comments have been prepared by staff for your review and consideration.

The applicant will be present at the meeting to make a presentation as well as answer any questions you might have. As mentioned, they are looking for early design guidance from you.

If you have any questions prior to the meeting, please feel free to call me at (425) 921-5738.

Preliminary Building Elevations and Landscape Comments for Vintage at Mill Creek

July 16, 2015 DRB Informal Review

Building Elevations:

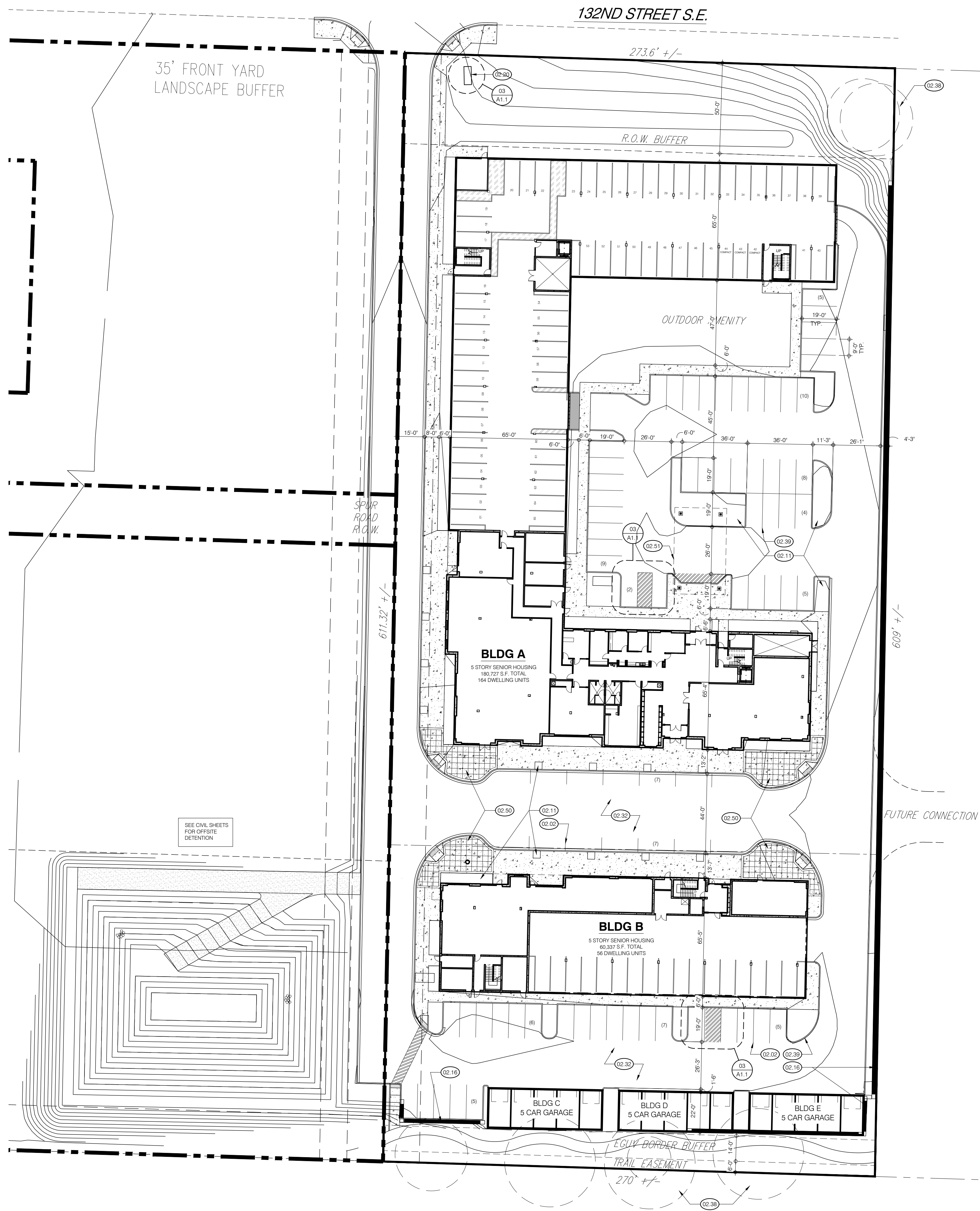
1. The EGUV Design Guidelines require that storefront windows provide glazing over at least 75 percent of the front façade of the ground floor between the height of two feet and eight feet above the ground along main commercial streets. It is unclear from the elevations provided whether this requirement is fulfilled.
2. Both the EGUV Design Guidelines and MCMC 17.34.040.E require building service elements, outdoor mechanical/utility equipment to be contained within the building envelope or concealed in roof structures so not to encroach on pedestrian areas. The elevations provided do not show the location of the service locations/loading areas or utility equipment. The applicant needs to show how these structures are screened to match/compliment the proposed architecture meet this requirement on the elevations and plans.
3. The corner plazas on Road B have a bench, textured concrete and a large pot. In addition to these amenities, a bike rack needs to be provided along the streetscape as noted in the EGUV Design Guidelines pages 13-14.
4. The EGUV Design Guidelines require that awnings, arcades, pergolas, and/or overhangs be provided over sidewalks adjacent to buildings to protect pedestrians from inclement weather; please show awning (weather protection) locations and a detail(s) on the formal elevations and plans.
5. The EGUV Design Guidelines require that pedestrian amenities such as street trees, landscaping, and seasonal flowers, benches, lighting, banners and artwork shall be provided to create interest along the sidewalk in the curb zone of the street. Please include a detail of each amenity provided on the formal DRB plans. Benches, bike racks and trash cans are to be black to be consistent with the existing streetscapes in the EGUV zone district.

Landscape Plan:

1. Wheel stops or another form of vehicle stop at the end of parking stalls will be required to prevent damage to landscaping and to allow full use of pedestrian walkways, pursuant to MCMC Section 17.34.040.H.2.c.
2. The perimeter trail shall provide pedestrian amenities such as activity nodes with benches and tables or exercise stations, these improvements need to be shown on the preliminary landscape plan. In addition, a connection from the development to the perimeter trail needs to be provided.
3. Southern property boundary: The eastern most of the existing trees to be saved (Tree 25) is too close to the building and the trail to be saved. Modify the plan to remove this tree and replace it with another evergreen and additional landscaping. It is possible that the second set of two trees (Trees 21 and 22) will have to be removed as well. The existing trees that remain may need to be limbed up to at least 8 feet, where necessary, to provide clearance on the perimeter trail and should include some landscaping underneath with something that will do well in a shady understory location.
4. The Spine Road (Road B) currently proposes small landscape beds planted with shrubs between the sidewalk and the street. This street should be landscaped with street trees in tree grates with electrical conduits every 20-30 feet on center lining the sidewalk. The landscape beds seem impractical since the street also shows parallel parking.
5. Tall Oregon Grape are proposed in several sections along the eastern property boundary, which is a narrow planting strip adjacent to pavement. Oregon Grape needs partial or full shade and does not do

well adjacent to pavement or in parking lots. Please consider a replacement with another evergreen shrub that is more suited to the environment.

6. Please show root barrier on all trees within narrow planting beds or within five feet of pavement, including all street trees and trees planted in landscape islands.
7. The Weeping Alaska Cedar shown in the landscape bed just south of the private plaza is probably too close to the Zelkova and could be replaced with a shrub.
8. 132nd Roadway Buffer – retain existing trees as proposed; however, when existing sidewalk is removed, care should be taken not to disturb the root system of the existing trees.
9. Street trees should be planted along on Road A in tree grates, every 20-30 feet on center. To provide adequate access for pedestrians, the narrow planter adjacent to the building shall be removed.
10. Sidewalks and the perimeter trail shall be constructed of concrete. Special textured pavers, brick, colored concrete, and pavers or a combination of these materials that provide patterns and/or decorative tones shall be used to accent sidewalk and plaza areas.
11. Planters or large pots with small shrubs and seasonal flowers may also be used to separate café seating from traffic flow and create protected sub-areas within the plaza for sitting and people watching.
12. Creative use of plant materials such as climbing vines or trellises, and use of sculpture groupings, etc. are also encouraged.



GENERAL NOTES

- A. ALL CONTRACTORS / SUB-CONTRACTORS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS AND EXISTING SPOT ELEVATIONS. FIELD VERIFY ALL SITE DIMENSIONS AND COORDINATE NEW WORK AS REQUIRED WITH EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- B. THE OWNER IS RESPONSIBLE FOR ALL SOILS TESTING AND ANALYSIS. ALL SOILS INFORMATION TO BE OBTAINED FROM THE OWNER OR CIVIL ENGINEER.
- C. CONTRACTOR TO NOTIFY LOCAL "DIG-LINE" SERVICE PRIOR TO ANY EXCAVATION.
- D. CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE LOCATION, ROUTE AND CONNECTION OF ALL NEW AND EXISTING UTILITIES FOR THIS PROJECT. ALL WORK TO CONFORM TO UTILITY COMPANY STANDARDS, LOCAL CODES AND ACCEPTED CONSTRUCTION PRACTICES.
- E. MINIMUM BURIAL DEPTH OF ALL UNDERGROUND ELECTRICAL RACEWAYS SHALL BE 24" BELOW FINISH GRADE U.O.N.
- F. REFER TO THE GENERAL STRUCTURAL NOTES FOR SOIL CONDITION REQUIREMENTS. THE CONTRACTOR IS REQUIRED TO DO ALL NECESSARY SOILS MODIFICATIONS TO MEET THE STRUCTURAL REQUIREMENTS OF THE FOUNDATION.
- G. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT DESIGN AND BEST MANAGEMENT PRACTICES TO BE IMPLEMENTED DURING CONSTRUCTION.
- H. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND EROSION AND SEDIMENT CONTROL DRAWINGS. REFER TO CIVIL DRAWINGS FOR ALL GUTTER / DOWNSPOUT CONNECTIONS AND ROUTES TO DRAINAGE SYSTEMS.
- I. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPING REQUIREMENTS.
- J. REFER TO ARCHITECTURAL FLOOR PLAN FOR BUILDING LAYOUT AND DIMENSIONS.
- K. REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL NOTES AND INFORMATION.
- L. CLEAR SITE OF EXISTING VEGETATION, A DEBRIS AS REQUIRED FOR NEW CONSTRUCTION. PROTECT EXISTING CONSTRUCTION TO REMAIN.
- M. THE FINISH SITE GRADE SHALL SLOPE AND HAVE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
- N. ALL CONSTRUCTION MODIFICATIONS, REPAIRS OR CHANGES TO CURBS, GUTTERS, CURB RAMPS AND SIDEWALKS IN THE RIGHT-OF-WAY TO RECEIVE AGENCY APPROVAL PRIOR TO CONSTRUCTION AND TO BE CONSTRUCTED PER AGENCY STANDARDS.
- O. ALL EXTERIOR SIDEWALKS, RAMPS, CURB RAMPS AND LANDINGS SHALL BE CONSIDERED AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH ICC/ANSI A117.1-2003 CHAPTER 4. ALL NEW SIDEWALKS TO HAVE A MAXIMUM SLOPE OF 1:20 (OR SIDEWALKS WITH A SLOPE GREATER THAN 1:20 SHALL SLOPE 1:12 MAXIMUM AND SHALL NOT SLOPE GREATER THAN 6" RISE AND SHALL HAVE LANDINGS 5'-0" EACH END IN THE DIRECTION OF TRAVEL. ALL SIDEWALKS MAY HAVE A MAXIMUM GROSS SLOPE OF 2% (1:50). ALL EXTERIOR LANDINGS AT DOORS TO BE FLUSH WITH BUILDING FINISH FLOOR AND SLOPE AWAY FROM THE BUILDING AT 2% (1:50) MAXIMUM FOR A MINIMUM DISTANCE OF 5'-0".
- P. PROVIDE EXPANSION JOINTS IN SIDEWALKS AT 20'-0" O.C. MAX. CONTROL JOINTS AT 5'-0" TYPICAL. ALL SIDEWALKS SHALL SLOPE TO SHED WATER PER GENERAL NOTE O REQUIREMENTS. SEE DETAIL A.8 & C/A1.1 FOR TYPICAL CONSTRUCTION NOTES.
- Q. ALL NEW CONSTRUCTION TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, ACCEPTED CONSTRUCTION STANDARDS AND CONFORM TO ALL BUILDING CODES AND REGULATIONS.
- R. REFER TO THE SITE PLAN SUBMITTAL FOR ADDITIONAL INFORMATION REGARDING CIVIL / LANDSCAPE / MEP.

PARKING INFORMATION

AUTO PARKING:	REQUIRED	PROVIDED
SURFACE PARKING STALLS	-	78
GARAGE STALLS	-	96
HANDICAP	8	8 (INCLUDED IN TOTAL)
TOTAL	150*	174

* REQUIRED SPACES ARE CALCULATED AS FOLLOWS:
 SENIOR - 5 TO 1 DWELLING UNIT = (220 X .5) = 110
 COMMERCIAL - 1 TO 250 SQ. FT. = (9,300 / 250) = 38

SITE PLAN KEYNOTES

- (01) FINISHED STRIKE
- (02) LANDSCAPE AREA. SEE LANDSCAPE / CIVIL DRAWINGS
- (03) RETAINING WALL. SEE CIVIL DRAWINGS
- (04) MORGANITE DOOR
- (05) ASPHALT PAVING. SEE CIVIL DRAWINGS
- (06) TREE / SHrub. REFER TO LANDSCAPE DRAWINGS
- (07) CONCRETE CURB. SEE CIVIL DRAWINGS
- (08) MIN. PLAZA. SCORED CONCRETE. SEE LANDSCAPE PLANS FOR MORE INFORMATION
- (09) PORTE COCHERE

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MILL CREEK
132ND STREET SE - (EGUV)
MILL CREEK, WASHINGTON

PROJ. # 14.53
DRAWN: DAK
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DATE: 05.27.16

Attachment 3

SITE PLAN
SCALE: 1"=30'

A1.0

SITE PLAN



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE

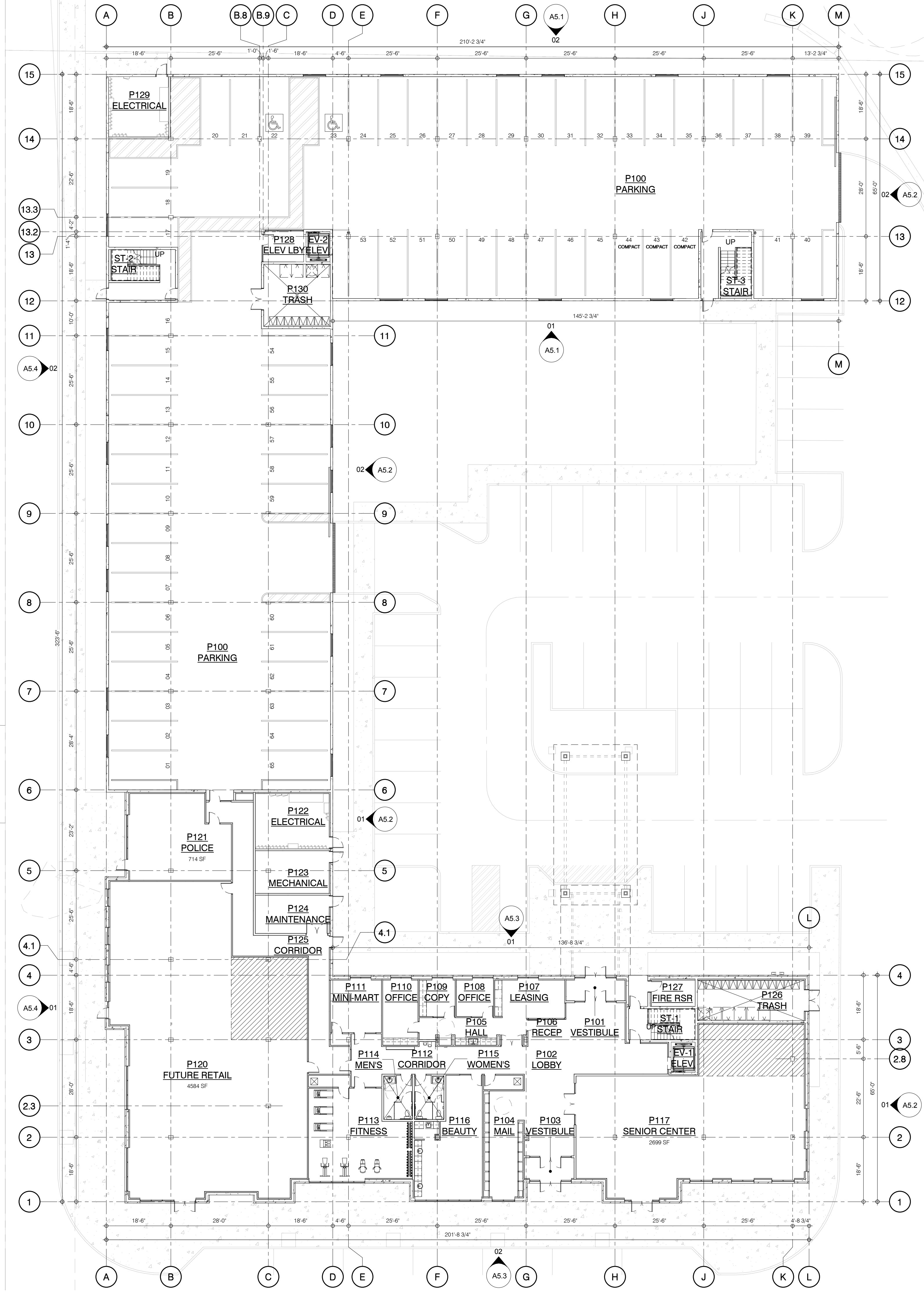
REVISIONS		
#	DESCRIPTION	DATE

PROJECT:
MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJ. # 14.53
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A5.06

PERSPECTIVES



FLOOR PLAN NOTES

- A. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF STUD/FINISH STEM WALL. EXTERIOR WALL FRAMING TO BE ALIGNED VERTICALLY FROM FLOOR TO FLOOR UNLESS OTHERWISE NOTED. VERIFY ALL EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN.
- B. PROVIDE 2x SOLID WOOD BLOCKING IN WALLS FOR GRAB BARS AND AT ALL TOWER HOOK, PAPER HOLDERS, GLUE ON WALL DOOR STOPS, AND CABINETS AS REQUIRED. ENSURE BLOCKING LOCATIONS EXTEND PAST LIMITS OF GRAB BARS.
- C. VERIFY ALL CABINET WALLS, CABINETS AND APPLIANCE DIMENSIONS HAVE REQUIRED CLEARANCES.
- D. GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLE 2508.2 AND 2012 IBC CHAPTER 35. GYPSUM BOARD MATERIALS SHALL BE ASSEMBLED AND INSTALLED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLES 2508.1 AND 2009 IBC CHAPTER 35.
- E. CHANGES IN FLOOR LEVEL WITH HEIGHTS BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1V:2H. LEVEL CHANGES GREATER THAN 1/2" ARE PROHIBITED.
- F. FOR EXTENTS OF FIRE RATED CONSTRUCTION, SEE FIRE RATED CONSTRUCTION PLANS AND BUILDING CODE SUMMARY. SEE SHEET A0.3

P-1 LEVEL PARKING COUNT

STANDARD: 63 STALLS
 ACCESSIBLE: 2 STALLS
 TOTAL P-1 LEVEL: 65 STALLS

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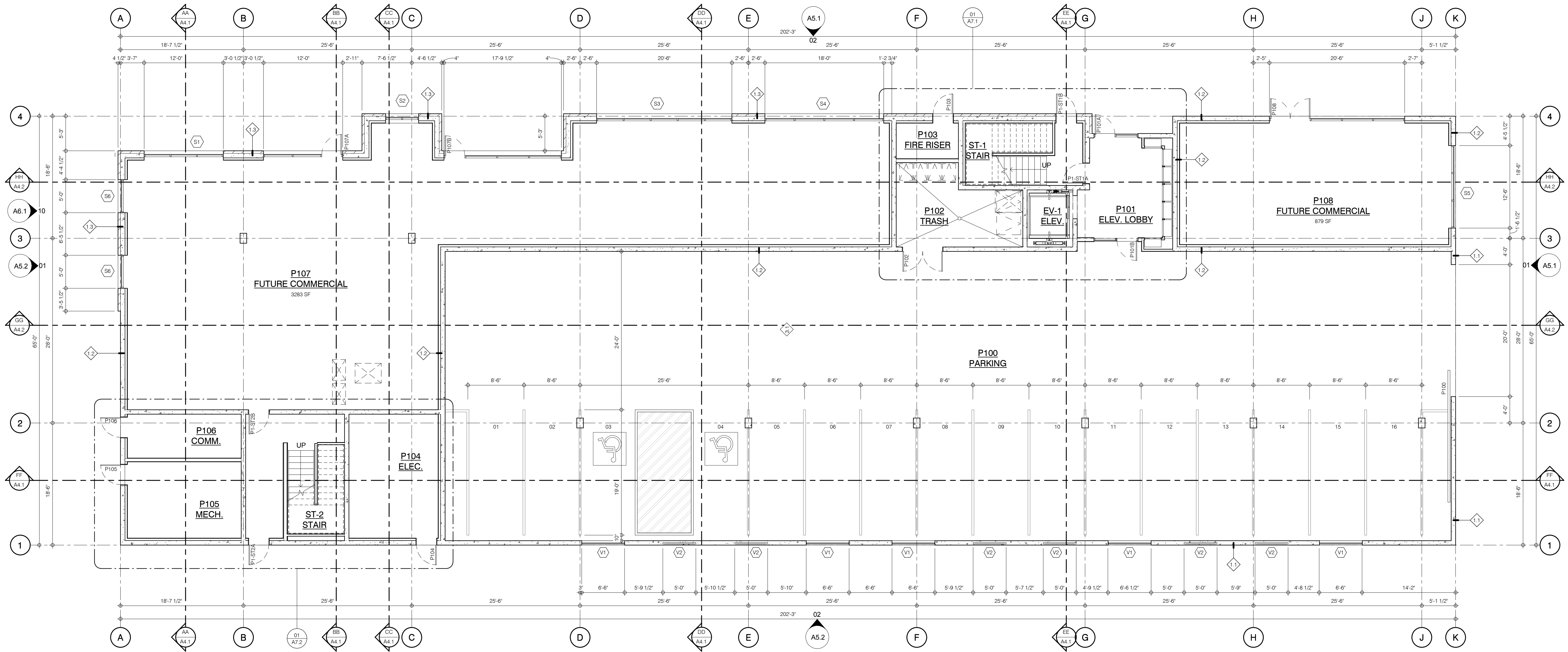
MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJECT: MILL CREEK
 PROJ. #: 14.53
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P-1 LEVEL OVERALL FLOOR PLAN
 SCALE: 1/16" = 1'-0"

A2.1.0
 P-1 LEVEL OVERALL FLOOR PLAN

Attachment 5



REVISIONS		
#	DESCRIPTION	DATE

FLOOR PLAN NOTES

- A. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF STUD FOUND STEM WALL. EXTERIOR WALL FRAMING TO BE ALIGNED VERTICALLY FROM FLOOR TO FLOOR UNLESS OTHERWISE NOTED. VERIFY ALL EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN.
- B. PROVIDE 2X SOLID WOOD BLOCKING IN WALLS FOR GRAB BARS AND AT ALL TOWER HOOK, PAPER HOLDERS, GLUE ON WALL DOOR STOPS, AND CABINETS AS REQUIRED. ENSURE BLOCKING LOCATIONS EXTEND PAST LIMITS OF GRAB BARS.
- C. VERIFY ALL CABINET WALLS, CABINETS AND APPLIANCE DIMENSIONS HAVE REQUIRED CLEARANCES.
- D. GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLE 2506.2 AND 2012 IBC CHAPTER 35. GYPSUM BOARD MATERIALS SHALL BE ASSEMBLED AND INSTALLED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLES 2508.1 AND 2009 IBC CHAPTER 35.
- E. CHANGES IN FLOOR LEVEL WITH HEIGHTS BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1V:2H. LEVEL CHANGES GREATER THAN 1/2" ARE PROHIBITED.
- F. FOR EXTENTS OF FIRE RATED CONSTRUCTION, SEE FIRE RATED CONSTRUCTION PLANS AND BUILDING CODE SUMMARY, SEE SHEET A0.3

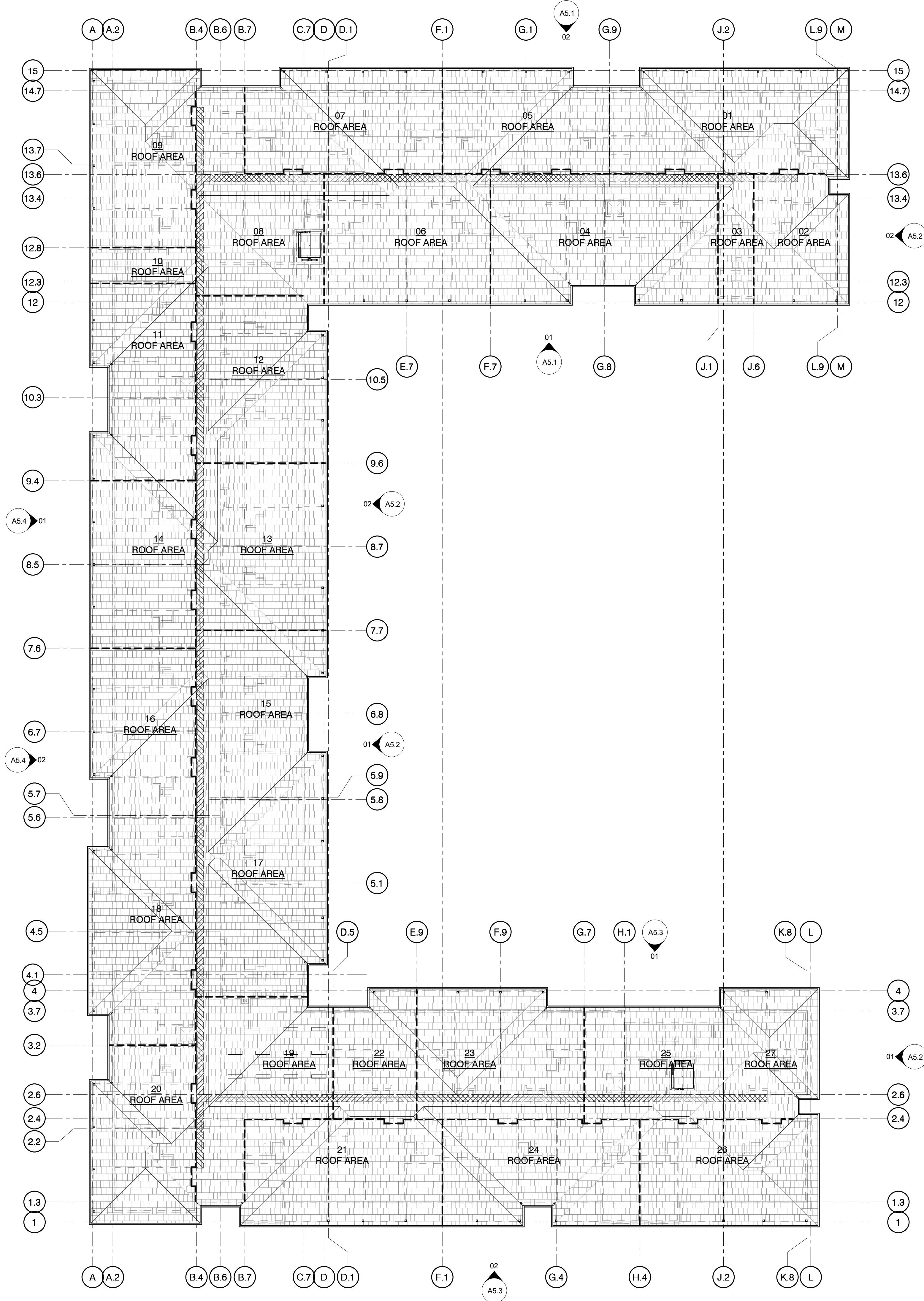
FLOOR PLAN LEGEND

	PARTITION/FURRING		2A-10BC FIRE (WALL HUNG)
	1-HOUR RATED PARTITION		2A-10BC FIRE (CABINET)
	2-HOUR RATED PARTITION		12' CLEAR
	ASSEMBLY TYPE		18' CLEAR
F.O.W.	FINISH OF WALL		
001	DOOR SYMBOL		
002	WINDOW SYMBOL		

P-1 LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJECT:
 PROJ. # 14.53
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 CHECKED: CRO
 DATE: 05.27.16



ROOF PLAN NOTES

- A. EACH SUB-CONTRACTOR TRADE SHALL VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION.
- B. COORDINATE ROOF PLAN WITH ROOF FRAMING PLAN AND WITH FINAL ROOF TRUSS SHOP DRAWINGS.
- C. ALL DOWNSPOUTS ARE TO BE TIED TO SITE DRAINAGE SYSTEM. PROVIDE 22 GA PREFINISHED DOWNSPOUT.
- D. ALL FRAMING, FIXTURES AND EQUIPMENT TO BE INSTALLED TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENT. ACCEPTED BUILDING STANDARDS AND CONFORM TO ALL BUILDING CODES.

ROOF PLAN LEGEND

- PARTITION/FURRING @ FLOOR BELOW
- - - DRAFTSTOP LOCATIONS
- 2-HOUR RATED PARTITION @ FLOOR BELOW
- ◆ ASSEMBLY TYPE

VENTILATION CALCS

NO.	NAME	AREA	REQD VENT. (SQ. IN.)	PROVD VENT. (SQ. IN.)
01	ROOF AREA	1448 SF	57.845562	1.168 (LOW) / 1.494 (HIGH)
02	ROOF AREA	707 SF	28.296137	858 (LOW) / 774 (HIGH)
03	ROOF AREA	354 SF	14.158333	110 (LOW) / 486 (HIGH)
04	ROOF AREA	1994 SF	79.750668	814 (LOW) / 1.980 (HIGH)
05	ROOF AREA	1056 SF	42.241003	572 (LOW) / 576 (HIGH)
06	ROOF AREA	1455 SF	58.187319	506 (LOW) / 1.080 (HIGH)
07	ROOF AREA	1251 SF	50.034344	660 (LOW) / 576 (HIGH)
08	ROOF AREA	1556 SF	62.231514	176 (LOW) / 1.188 (HIGH)
09	ROOF AREA	1080 SF	43.188893	946 (LOW) / 954 (HIGH)
10	ROOF AREA	276 SF	11.023654	110 (LOW) / 36 (HIGH)
11	ROOF AREA	1286 SF	50.65931	715 (LOW) / 726 (HIGH)
12	ROOF AREA	1441 SF	57.640599	539 (LOW) / 1.350 (HIGH)
13	ROOF AREA	1442 SF	57.68296	517 (LOW) / 1.350 (HIGH)
14	ROOF AREA	1080 SF	43.19579	517 (LOW) / 414 (HIGH)
15	ROOF AREA	1451 SF	58.032992	627 (LOW) / 1.296 (HIGH)
16	ROOF AREA	1085 SF	43.396003	561 (LOW) / 576 (HIGH)
17	ROOF AREA	1713 SF	68.535578	660 (LOW) / 1.926 (HIGH)
18	ROOF AREA	1470 SF	59.168479	814 (LOW) / 828 (HIGH)
19	ROOF AREA	1663 SF	66.535573	231 (LOW) / 1.170 (HIGH)
20	ROOF AREA	1081 SF	43.25625	900 (LOW) / 1.242 (HIGH)
21	ROOF AREA	1343 SF	53.731674	660 (LOW) / 774 (HIGH)
22	ROOF AREA	721 SF	28.846781	319 (LOW) / 612 (HIGH)
23	ROOF AREA	1430 SF	57.55312	561 (LOW) / 1.854 (HIGH)
24	ROOF AREA	1335 SF	53.402599	726 (LOW) / 846 (HIGH)
25	ROOF AREA	1107 SF	44.274165	418 (LOW) / 910 (HIGH)
26	ROOF AREA	1137 SF	45.472768	946 (LOW) / 1.134 (HIGH)
27	ROOF AREA	702 SF	28.078844	715 (LOW) / 954 (HIGH)
GRAND TOTAL		32660 SF		

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MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

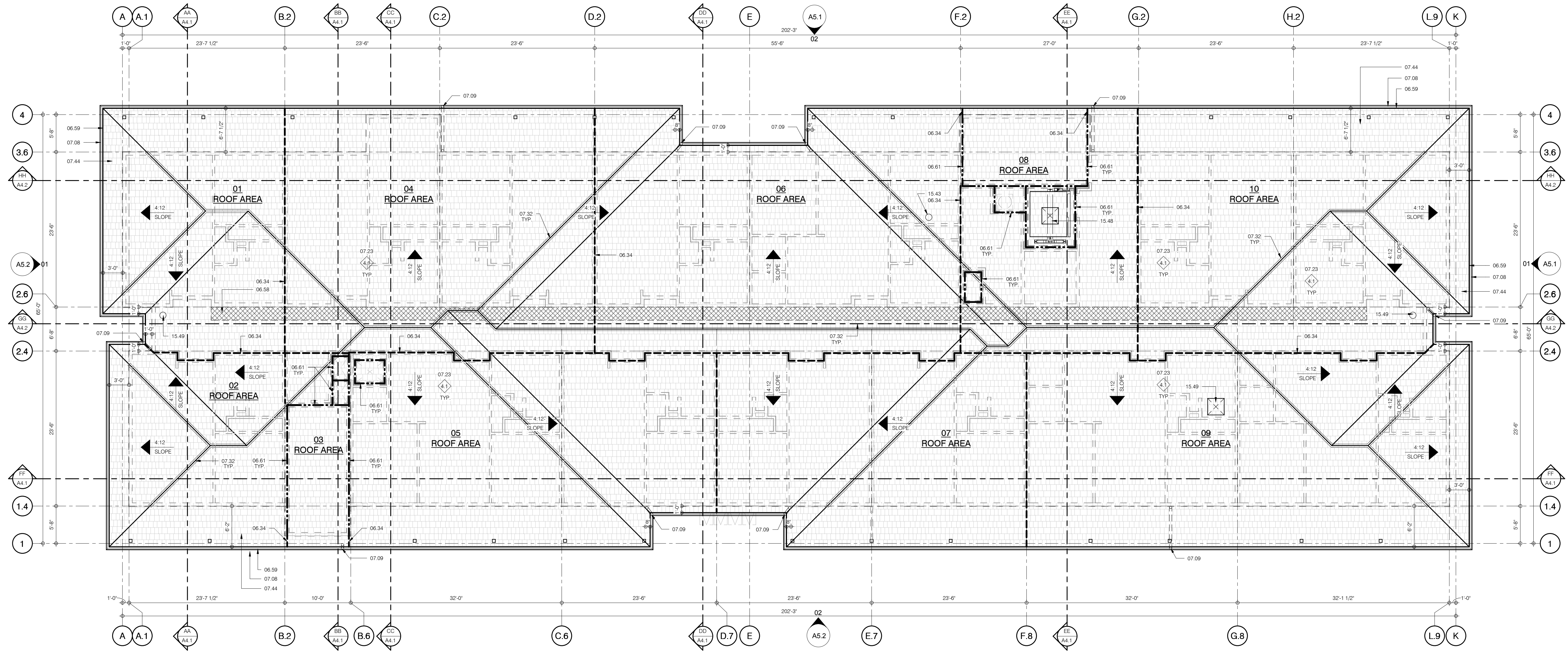
PROJECT:
 PROJ. #
 DRAWN: DAK
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A2.6.0

OVERALL ROOF PLAN

OVERALL ROOF PLAN
 SCALE: 1/16" = 1'-0"

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KEYNOTE LEGEND

06.34	ATTIC DRAFTSTOPPING.
06.58	ATTIC CATAWALK.
06.59	2x8 PAINTED WOOD FASCIA.
06.61	2-HOUR FIRE BARRIER (SHAFT). TERMINATE AT BOTTOM OF ROOF SHEATHING.
07.08	PRE-FINISHED METAL GUTTER.
07.09	PRE-FINISHED METAL DOWNSPOUT.
07.23	30 YEAR ARCHITECTURAL LAMINATED ASPHALT SHINGLES ON (2) LAYERS 15# FELT INSTALLED IN ACCORDANCE WITH IBC 1507.2.8.
07.32	CONTINUOUS RIDGE / HIP VENT (18 SQ. IN. / N.S.V.Q. / FT. MIN.) INSTALL PER MANUFACTURERS SPECIFICATIONS.
07.44	VENTILATED SOFFIT. INSTALL AS REQUIRED TO MEET VENTILATION REQUIREMENTS.
15.43	TRASH CHUTE VENT THROUGH ROOF PER MANUFACTURERS RECOMENDATIONS.
15.48	ELEVATOR HOISTWAY VENT. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
15.49	MECHANICAL VENT. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

ROOF PLAN VENTILATION NOTES

- A. ENCLOSED ATTIC SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/800 (WITH VAPOR BARRIER) OF AREA OF THE SPACE VENTILATED WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE AT LEAST 3' ABOVE THE EAVE.
- B. AREA OF ROOF TO BE VENTILATED. SEE TABLE.
- C. NOTE: THE FOLLOWING AREAS FOR SOFFIT AND RIDGE VENTS IS BASED ON TYPICAL CONSTRUCTION PRODUCTS OF THIS TYPE. GENERAL CONTRACTOR TO VERIFY THAT THE FINAL PRODUCTS SELECTED MEET OR EXCEED THE ASSUMED VENTILATION VALUES, OR ADJUST THE DESIGN AS REQUIRED TO MEET THE VENTILATION REQUIREMENTS OF EACH OF THE DRAFT-STOPPED SPACES OF THE ATTIC.
 - 1. LOW SOFFIT VENTS HAVE 11 S.I. NET FREE PER LINEAL FOOT. SEE LEGEND FOR INFORMATION.
 - 2. HIGH ROOF VENT HAVE 113.04 S.I. NET FREE AREA PER VENT. PER KEYNOTE #07.17.

VENTILATION CALCS				
NO.	NAME	AREA	REQ'D VENT. (SQ. IN.)	PROVD VENT. (SQ. IN.)
ROOF				
01	ROOF AREA	726 SF	29 058698	748 (LOW) / 756 (HIGH)
02	ROOF AREA	544 SF	21 787144	682 (LOW) / 706 (HIGH)
03	ROOF AREA	277 SF	11 006667	99 (LOW) / 198 (HIGH)
04	ROOF AREA	1486 SF	59 800164	517 (LOW) / 1 530 (HIGH)
05	ROOF AREA	1275 SF	50 998576	660 (LOW) / 558 (HIGH)
06	ROOF AREA	1711 SF	68 436221	693 (LOW) / 1 404 (HIGH)
07	ROOF AREA	1078 SF	43 12009	559 (LOW) / 558 (HIGH)
08	ROOF AREA	999 SF	39 971503	288 (LOW) / 684 (HIGH)
09	ROOF AREA	1476 SF	59 020829	1 111 (LOW) / 972 (HIGH)
10	ROOF AREA	1426 SF	57 055296	979 (LOW) / 1 368 (HIGH)
GRAND TOTAL			11907 SF	
				11907 SF

ROOF PLAN NOTES

- A. EACH SUB-CONTRACTOR TRADE SHALL VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION.
- B. COORDINATE ROOF PLAN WITH ROOF FRAMING PLAN AND WITH FINAL ROOF TRUSS SHOP DRAWINGS.
- C. ALL DOWNSPOUTS ARE TO TIE TO SITE DRAINAGE SYSTEM. PROVIDE 22 GA PREFINISHED DOWNSPOUT.
- D. ALL FRAMING, FIXTURES AND EQUIPMENT TO BE INSTALLED TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENT, ACCEPTED BUILDING STANDARDS AND CONFORM TO ALL BUILDING CODES.

ROOF PLAN LEGEND

- - - PARTITION/FURRING @ FLOOR BELOW
- DRAFTSTOP LOCATIONS
- 2-HOUR RATED PARTITION @ FLOOR BELOW
- ◆ ASSEMBLY TYPE



01 BUILDING 1 NORTH ELEVATION FROM 132ND STREET NE
SCALE: 1/16" = 1'-0"



02 BUILDING 1 PARTIAL NORTH ELEVATION FROM INTERIOR COURTYARD
SCALE: 1/16" = 1'-0"



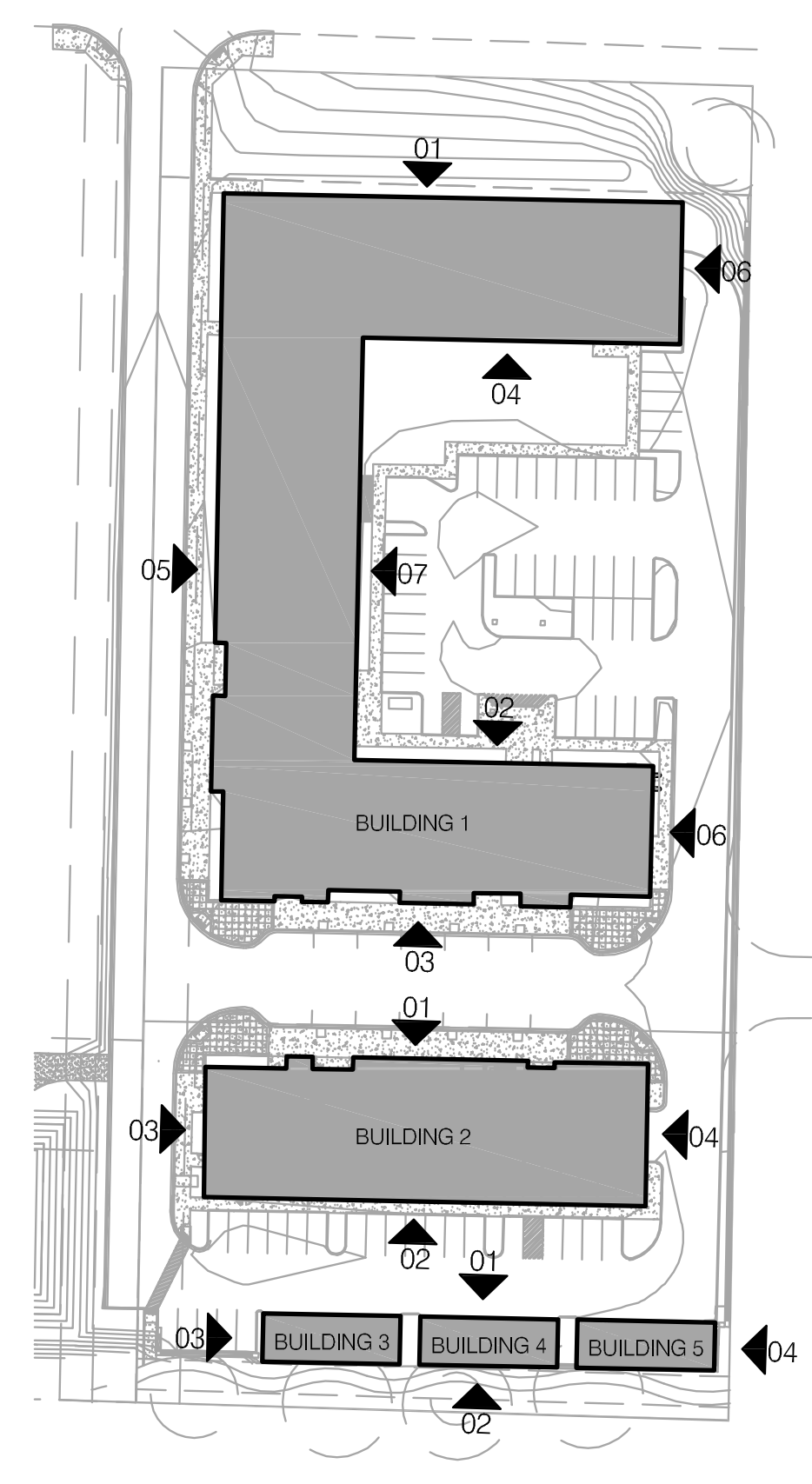
03 BUILDING 1 SOUTH ELEVATION ALONG SPINE ROAD
SCALE: 1/16" = 1'-0"



04 BUILDING 1 PARTIAL SOUTH ELEVATION FROM INTERIOR COURTYARD
SCALE: 1/16" = 1'-0"

- SD-1 CRANE VINYL BOARD AND BATTEN SIDING
COLOR: REGATTA
- SD-2 CRANE VINYL LAP SIDING
COLOR: BONE
- SD-3 CRANE VINYL LAP SIDING
COLOR: OLIVE
- SD-4 CRANE VINYL BOARD AND BATTEN SIDING
COLOR: OLIVE
- SD-5 CRANE VINYL LAP SIDING
COLOR: GRAPHITE
- BRICK-1 BRICK VENEER
COLOR: RED TONES
- BRICK-2 BRICK VENEER
COLOR: GOLDEN TONES
- CONC-1 CONCRETE
COLOR: NATURAL
- CONC-2 PAINTED CONCRETE
COLOR: RED TONE TO MATCH BRICK-1
- CONC-3 PAINTED CONCRETE
COLOR: GOLDEN TONE TO MATCH BRICK-2
- GRGDR-1 4 PANEL (RAISED PANEL) GARAGE DOOR
COLOR: WHITE

REVISIONS		
#	DESCRIPTION	DATE



ELEVATION KEYPLAN

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 ph: 509.328.6464 web: www.nocarch.com

PROJECT:
MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJ. #	14.53
DRAWN:	DAK
CHECKED:	CRO
DATE:	05.27.16

A5.01

COLORED EXTERIOR ELEVATIONS
BUILDING 1

- SD-1
CRANE VINYL BOARD AND BATTEN SIDING
COLOR: REGATTA
- SD-2
CRANE VINYL LAP SIDING
COLOR: BONE
- SD-3
CRANE VINYL LAP SIDING
COLOR: OLIVE
- SD-4
CRANE VINYL BOARD AND BATTEN SIDING
COLOR: OLIVE
- SD-5
CRANE VINYL LAP SIDING
COLOR: GRAPHITE
- BRICK-1
BRICK VENEER
COLOR: RED TONES
- BRICK-2
BRICK VENEER
COLOR: GOLDEN TONES
- CONC-1
CONCRETE
COLOR: NATURAL
- CONC-2
PAINTED CONCRETE
COLOR: RED TONE TO MATCH BRICK-1
- CONC-3
PAINTED CONCRETE
COLOR: GOLDEN TONE TO MATCH BRICK-2
- GRGDR-1
4 PANEL (RAISED PANEL) GARAGE DOOR
COLOR: WHITE



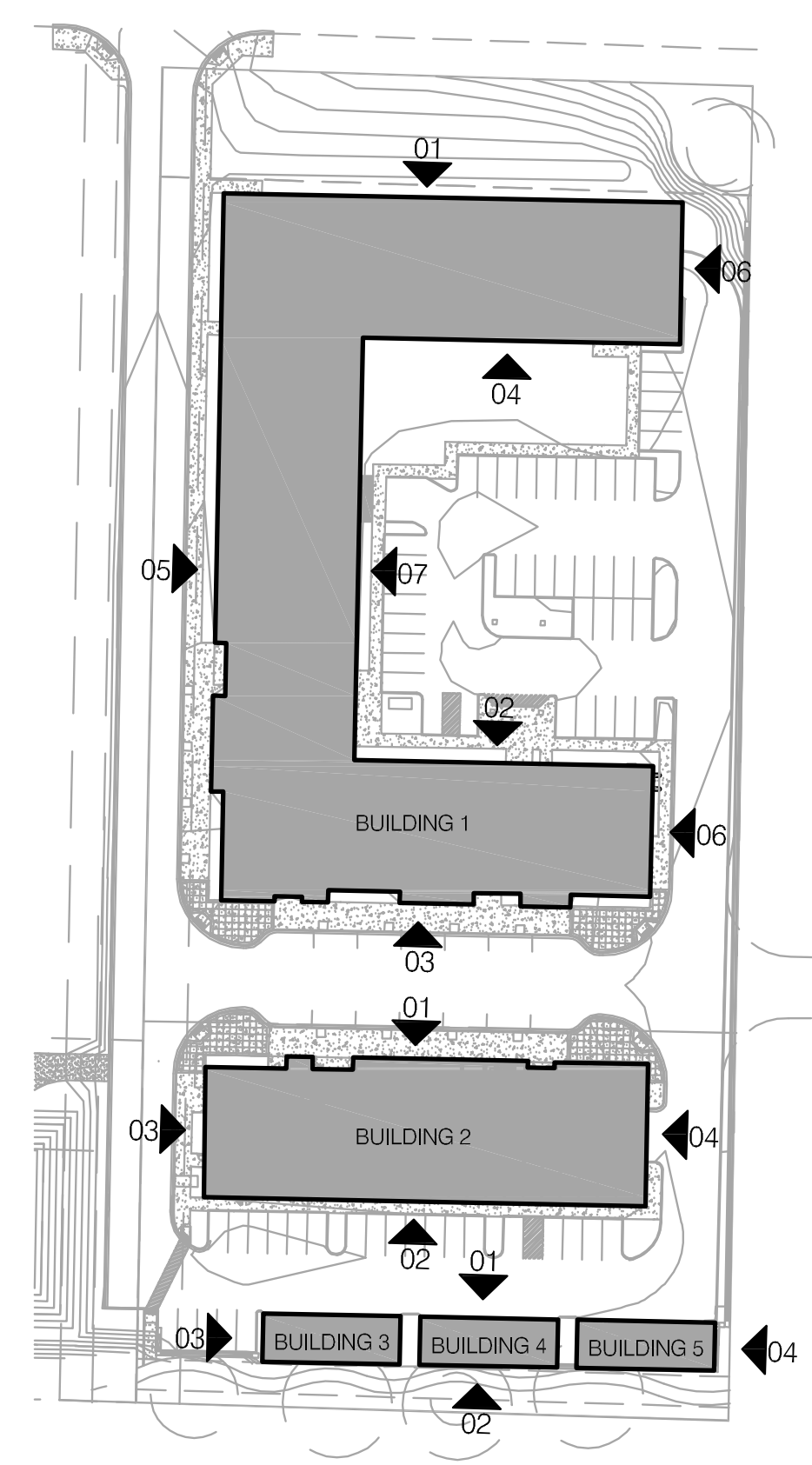
05 BUILDING 1 WEST ELEVATION
 SCALE: 1/16" = 1'-0"



06 BUILDING 1 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



07 BUILDING 1 PARTIAL EAST ELEVATION FROM INTERIOR COURTYARD
 SCALE: 1/16" = 1'-0"



ELEVATION KEYPLAN

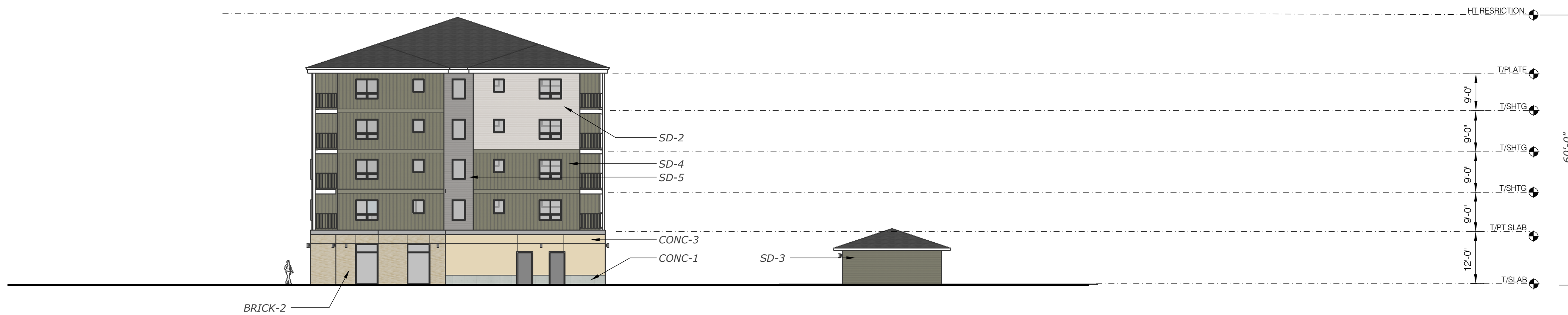
REVISIONS		
#	DESCRIPTION	DATE



01 BUILDING 2 NORTH ELEVATION ALONG SPINE ROAD
SCALE: 1/16" = 1'-0"



02 BUILDING 2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



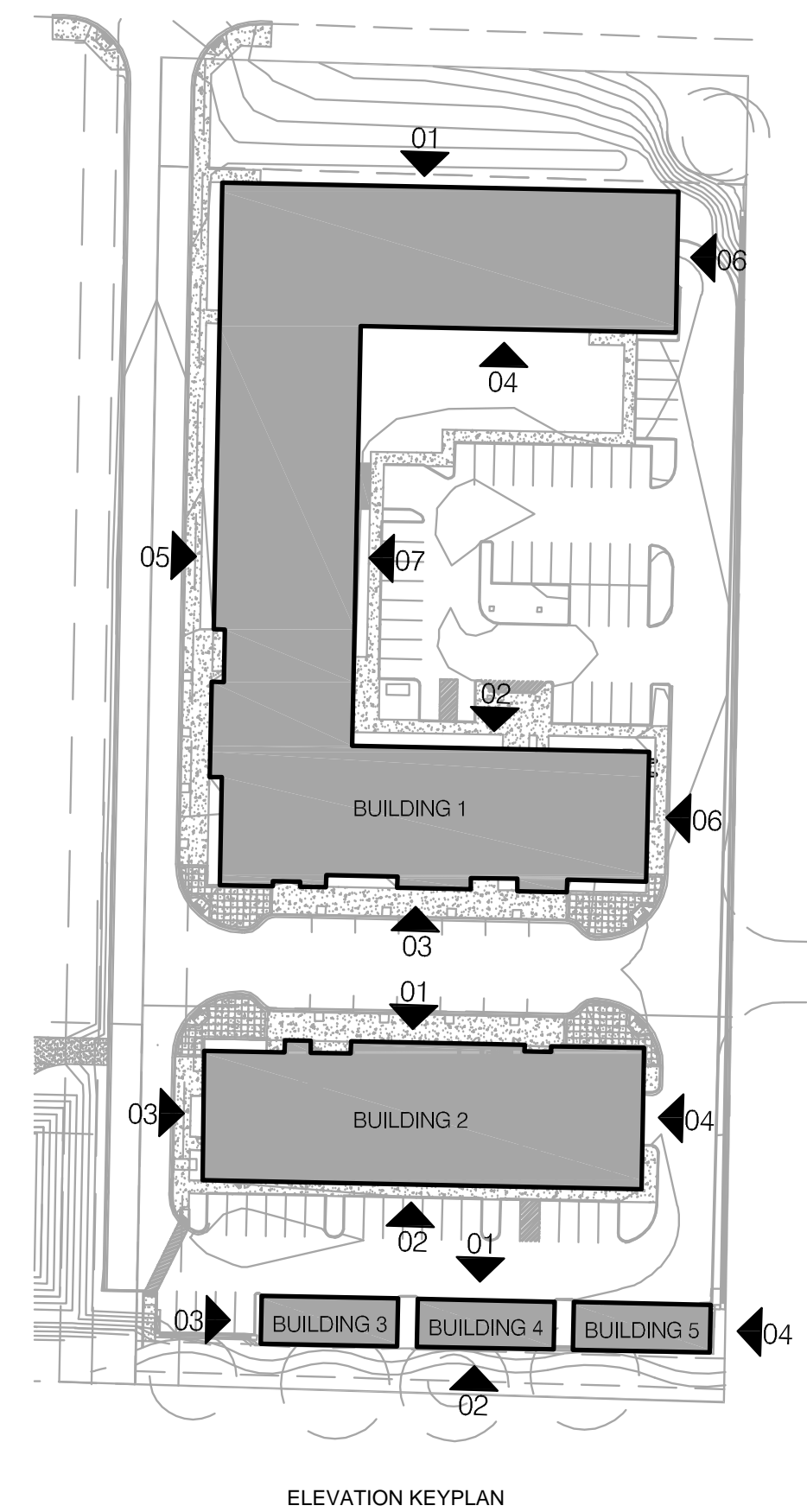
03 BUILDING 2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



04 BUILDING 2 EAST ELEVATION
SCALE: 1/16" = 1'-0"

- SD-1 CRANE VINYL BOARD AND BATTEN SIDING
COLOR: REGATTA
- SD-2 CRANE VINYL LAP SIDING
COLOR: BONE
- SD-3 CRANE VINYL LAP SIDING
COLOR: OLIVE
- SD-4 CRANE VINYL BOARD AND BATTEN SIDING
COLOR: OLIVE
- SD-5 CRANE VINYL LAP SIDING
COLOR: GRAPHITE
- BRICK-1 BRICK VENEER
COLOR: RED TONES
- BRICK-2 BRICK VENEER
COLOR: GOLDEN TONES
- CONC-1 CONCRETE
COLOR: NATURAL
- CONC-2 PAINTED CONCRETE
COLOR: RED TONE TO MATCH BRICK-1
- CONC-3 PAINTED CONCRETE
COLOR: GOLDEN TONE TO MATCH BRICK-2
- GRGDR-1 4 PANEL (RAISED PANEL) GARAGE DOOR
COLOR: WHITE

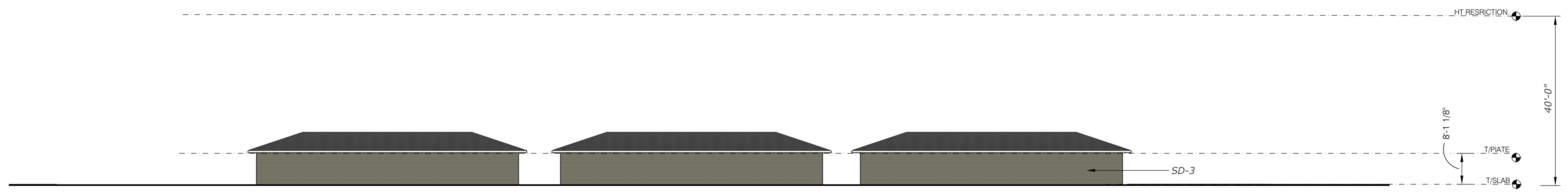
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#	DESCRIPTION	DATE



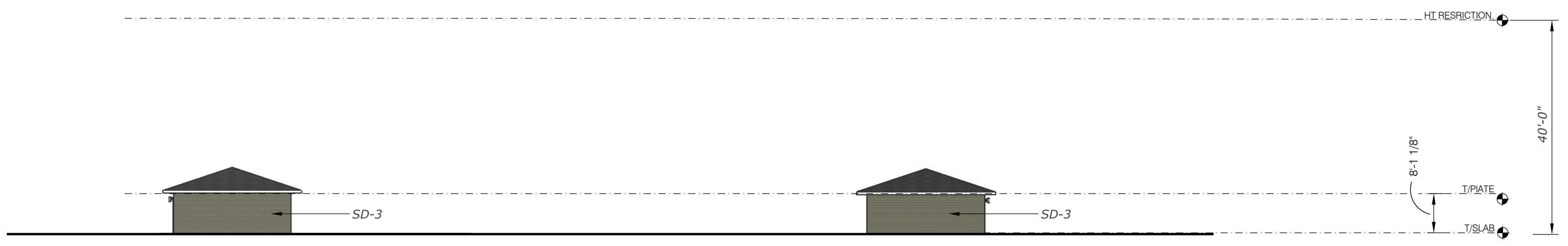
ELEVATION KEYPLAN



01 BUILDING 3/4/5 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



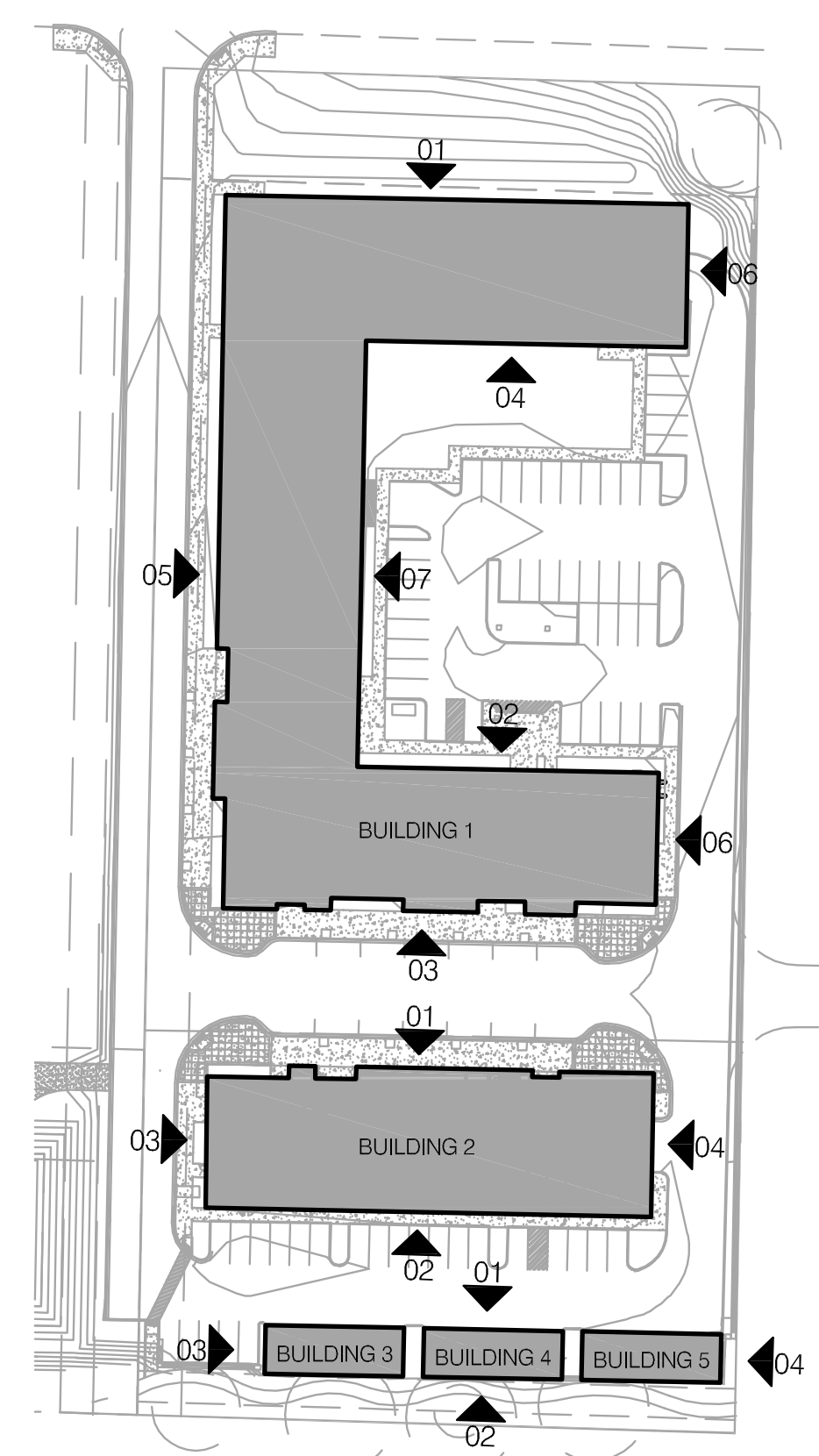
02 BUILDING 3/4/5 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



03 BUILDING 3/4/5 WEST ELEVATION
SCALE: 1/16" = 1'-0"

04 BUILDING 3/4/5 EAST ELEVATION
SCALE: 1/16" = 1'-0"

- SD-1
CRANE VINYL BOARD AND BATTEN SIDING
COLOR: REGATTA
- SD-2
CRANE VINYL LAP SIDING
COLOR: BONE
- SD-3
CRANE VINYL LAP SIDING
COLOR: OLIVE
- SD-4
CRANE VINYL BOARD AND BATTEN SIDING
COLOR: OLIVE
- SD-5
CRANE VINYL LAP SIDING
COLOR: GRAPHITE
- BRICK-1
BRICK VENEER
COLOR: RED TONES
- BRICK-2
BRICK VENEER
COLOR: GOLDEN TONES
- CONC-1
CONCRETE
COLOR: NATURAL
- CONC-2
PAINTED CONCRETE
COLOR: RED TONE TO MATCH BRICK-1
- CONC-3
PAINTED CONCRETE
COLOR: GOLDEN TONE TO MATCH BRICK-2
- GRGDR-1
4 PANEL (RAISED PANEL) GARAGE DOOR
COLOR: WHITE



ELEVATION KEYPLAN

REVISIONS		
#	DESCRIPTION	DATE

PROJ. #	14.53
DRAWN:	DAK
CHECKED:	CRO
DATE:	05.27.16

A5.04

SAMPLE - MATERIAL BOARD - BUILDING 1



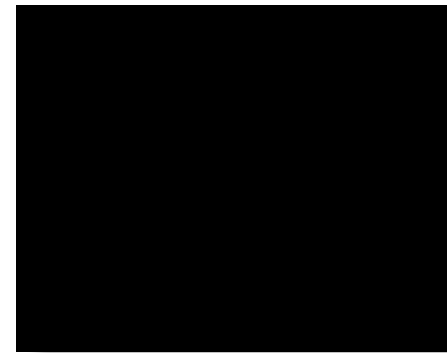
CRANE PREMIUM POINTE BOARD AND BATTEN SIDING - COLOR: REGATTA



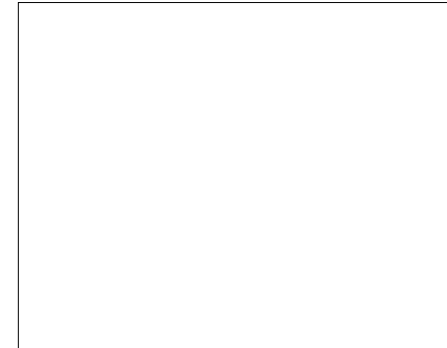
CRANE - MARKET SQUARE LAP SIDING
COLOR: BONE



CRANE - MARKET SQUARE LAP SIDING
COLOR: OLIVE



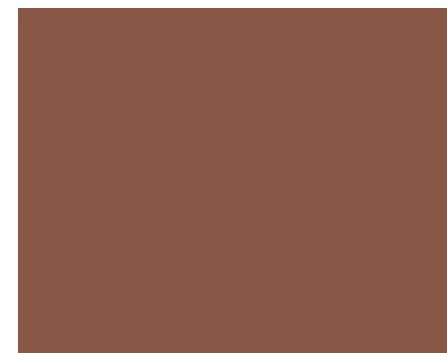
RAILING



DECK FRAME



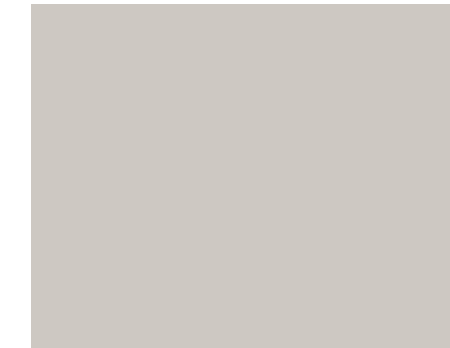
BRICK VENEER



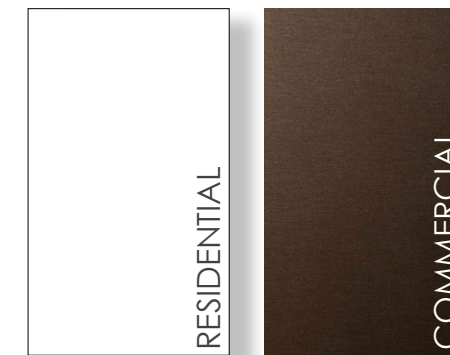
CONCRETE PODIUM
PAINTED OR NATURAL



TRIM



TRIM



WINDOW FRAME



STOREFRONT ACCENT



WALL SCONCE



RECESSED DOWN LIGHT



SITE LIGHTING - DIRECTIONAL



SITE LIGHTING - BOLLARD

SAMPLE - MATERIAL BOARD - BUILDING 2



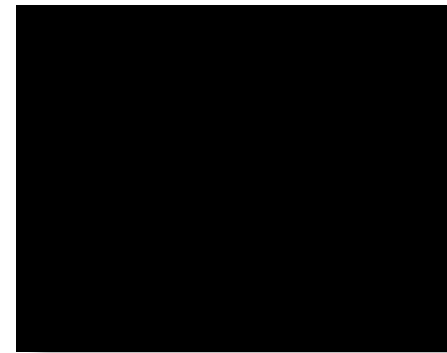
CRANE PREMIUM POINTE BOARD AND BATTEN SIDING - COLOR: OLIVE



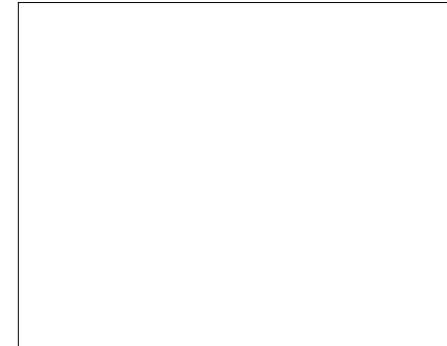
CRANE - MARKET SQUARE LAP SIDING
COLOR: BONE



CRANE - MARKET SQUARE LAP SIDING
COLOR: GRAPHITE



RAILING



DECK FRAME



BRICK VENEER



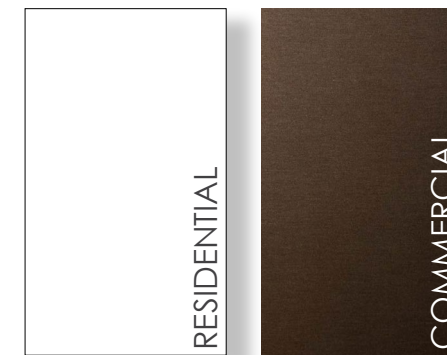
CONCRETE PODIUM
PAINTED OR NATURAL



TRIM



TRIM



WINDOW FRAME



STOREFRONT ACCENT



WALL SCONCE



RECESSED DOWN LIGHT

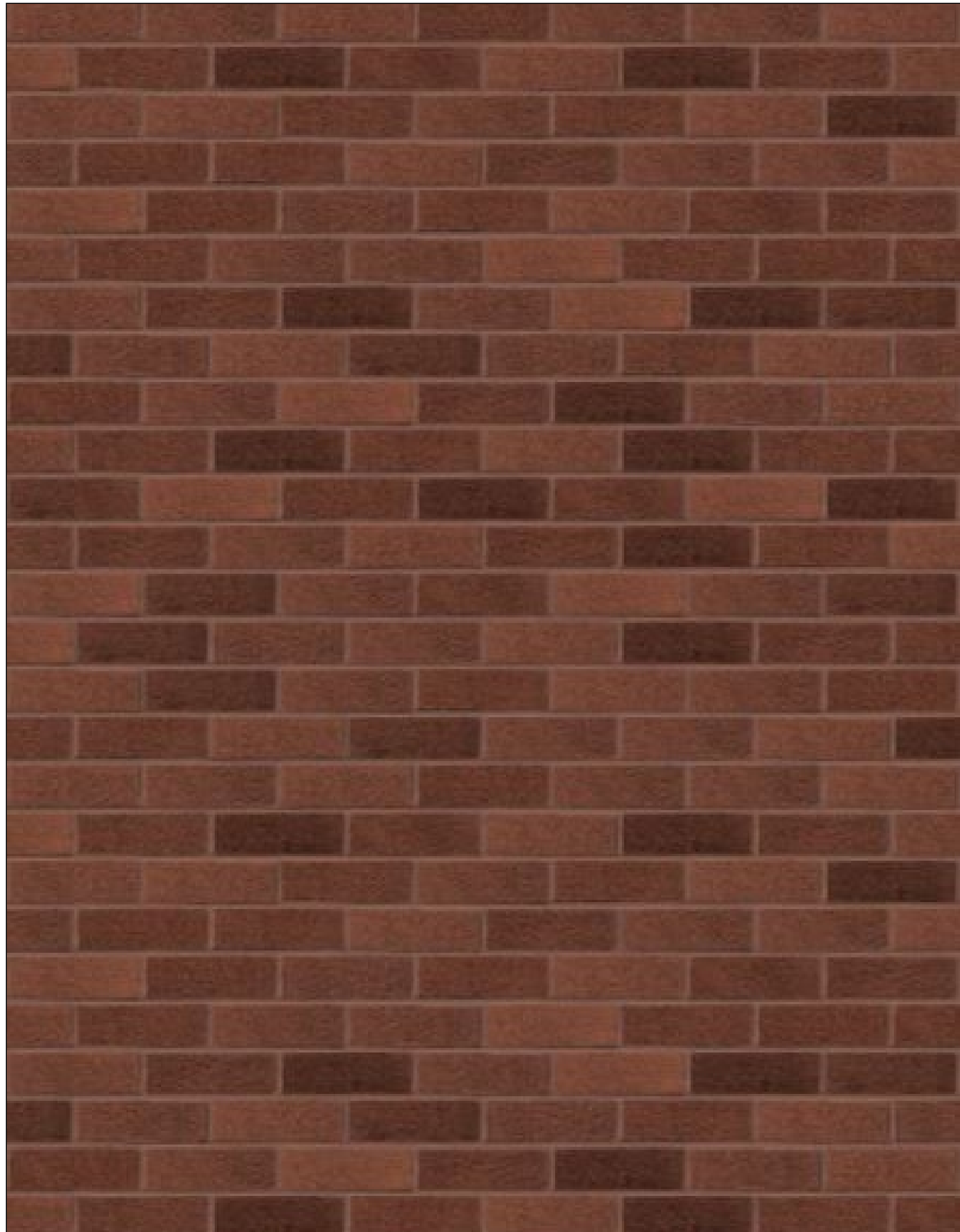


SITE LIGHTING - DIRECTIONAL



SITE LIGHTING - BOLLARD

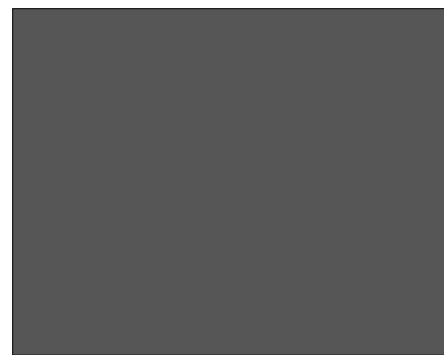
SAMPLE - MATERIAL BOARD - MONUMENT SIGN



BRICK VENEER



CONCRETE



METAL FRAME



SITE LIGHTING - DIRECTIONAL

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
	5	/ EXISTING TREE TO REMAIN	EXISTING		
	5	ACER RUBRUM 'BOWHALL' / 'BOWHALL' MAPLE	B & B	2" CAL	12'-14' HT.
	7	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / 'KEEPING ALASKA CEDAR	B & B		8'-10' HT.
	4	CHAMAECYPARIS OBTUSA 'GRACILIS' / HINOKI FALSE CYPRESS	B & B		8'-10' HT.
	2	CORNUS KOUSA 'SATOMI' / 'SATOMI' DOGWOOD	B & B	2" CAL	10'-12' HT.
	1	EXISTING TREE TO REMAIN / EXISTING TREE TO REMAIN	EXISTING		
	2	GLEDITSIA T. INERMIS 'SUNCOLE' / SKYLINE HONEYLOCUST	B & B	2" CAL	12'-14' HT.
	18	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR	B & B	2" CAL	12'-14' HT.
	1	STREET TREE / STREET TREE TO MATCH EXISTING MATCH EXISTING SPECIES AND VARIETY OF EXISTING STREET TREE	B&B/CONT.	2" MIN. CAL.	10'-12' HT.
	4	ZELKOVA SERRATA 'GREEN VASE' / 'GREEN VASE' ZELKOVA	B & B	2" CAL	12'-14' HT.

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	9	AUCUBA JAPONICA 'GOLD DUST' / 'GOLD DUST' AUCUBA	5 GAL	@ 4' O.C.
	28	AZALEA GIRARD HYBRID 'GIRARD'S ROSE' / 'GIRARD'S ROSE' AZALEA	3 GAL	@ 3' O.C.
	9	AZALEA X 'HINO CRIMSON' / 'HINO CRIMSON' AZALEA	3 GAL	@ 3' O.C.
	114	AZALEA X 'KAREN' / KAREN AZALEA	3 GAL	@ 3' O.C.
	87	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	@ 3' O.C.
	44	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	@ 2-1/2' O.C.
	5	CORNUS SERICEA 'ISANTI' / ISANTI REDOSIER DOGWOOD	5 GAL	@ 5' O.C.
	6	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	5 GAL	@ 3-1/2' O.C.
	16	FOTHERGILLA GARDENII 'MT. AIRY' / DWARF FOTHERGILLA	2 GAL	@ 3-1/2' O.C.
	12	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	@ 3' O.C.
	17	HEMEROCALLIS X 'HAPPY RETURNS' / 'HAPPY RETURNS' DAYLILY	1 GAL	@ 2' O.C.
	15	HOSTA FORTUNEI 'PATRIOT' / 'PATRIOT' HOSTA	1 GAL	@ 2-1/2' O.C.
	24	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / 'SNOW QUEEN' HYDRANGEA	5 GAL	@ 5' O.C.
	10	MAHONIA AQUIFOLIUM / TALL OREGON GRAPE	5 GAL	@ 4' O.C.
	110	MAHONIA REPENS / CREEPING MAHONIA	2 GAL	@ 3' O.C.
	31	NANDINA DOMESTICA 'GULF STREAM' / 'GULF STREAM' NANDIA	3 GAL	@ 3' O.C.
	18	PENNISETUM ALOPECUROIDES 'HAMELN' / 'HAMELN' GRASS	1 GAL	@ 2-1/2' O.C.
	29	POLYSTICHUM MUNIUM / SWORD FERN	2 GAL	@ 3' O.C.
	17	PRUNUS LAUROCERASUS 'MT. VERNON' / 'MT. VERNON' LAUREL	2 GAL	@ 2-1/2' O.C.
	38	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL	@ 3-1/2' O.C.
	48	SARCOCOGCA HOOKERANA HUMILIS / CREEPING SWEET BOX	2 GAL	@ 3' O.C.
	24	SKIMMIA JAPONICA / SKIMMIA	5 GAL	@ 5' O.C.
	3	THUJA OCCIDENTALIS 'SMARASD' / EMERALD GREEN ARBORVITAE	CONT./B&B, 4' HT. MIN	@ 2-1/2' O.C.
	43	VIBURNUM DAVIDII / DAVID VIBURNUM	5 GAL	
	3	VIBURNUM P. T. 'SUMMER SNOWFLAKE' / 'SUMMER SNOWFLAKE' VIBURNUM	5 GAL	@ 5' O.C.

SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	332	FESTUCA GLAUCA 'ELIJAH BLUE' / BLUE FESCUE	1 GAL.	2' O.C.
	199	LOW NATIVE SHRUB MIX PLANT LIKE PLANTS IN GROUPS OF 5-7, SEE REFERENCE NOTES SCHEDULE FOR SPECIES	1 GAL.	4' O.C.
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	251	CEANOTHUS GLORIOSUS / POINT REYES CEANOTHUS	1 GAL.	2-1/2' O.C.
	84	COTONEASTER DAMMERI 'CORAL BEAUTY' / BEARBERRY COTONEASTER	1 GAL.	2-1/2' O.C.
	23	EUONYMUS FORTUNEI 'COLORATA' / PURPLE-LEAF WINTER CREEPER	1 GAL.	2-1/2' O.C.
	07	VINCA MINOR / COMMON PERIWINKLE	1 GAL.	2-1/2' O.C.

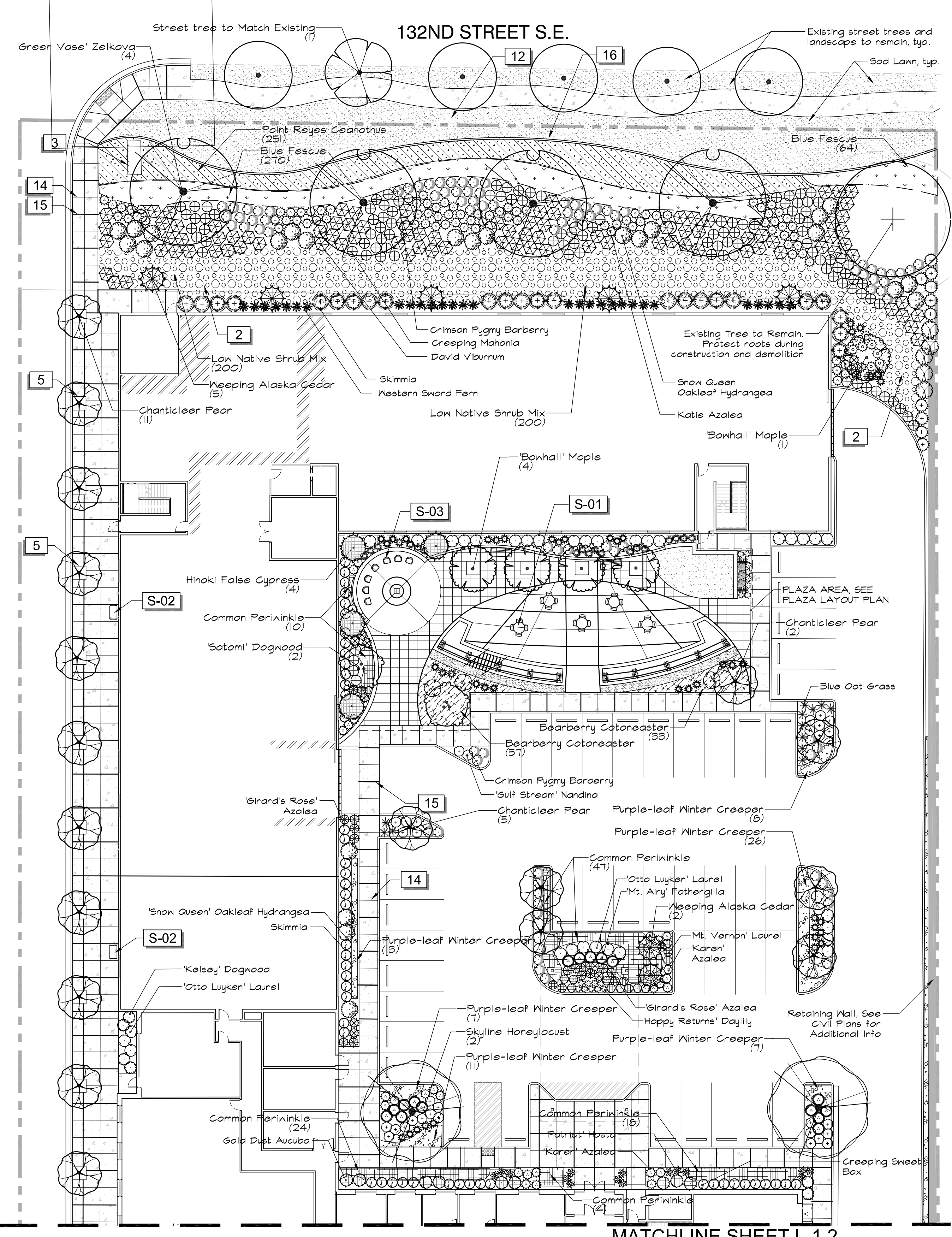
REFERENCE NOTES SCHEDULE L1.1

- SYMBOL DESCRIPTION**
- [2]** LOW NATIVE SHRUB MIX (SEE PLANT SCHEDULE FOR MORE INFORMATION):
-CORNUS SERICEA 'KELSEY' (KELSEY DOGWOOD)
-GAULTHERIA SHALLOON (SALAL)
-MAHONIA AQUIFOLIUM COMPACTA (COMPACT OREGON GRAPE)
SYMPHORICARPOS MOLLIS (CREEPING SNOWBERRY)
 - [3]** MONUMENT SIGN, SEE ARCHITECTURAL PLANS.
 - [4]** SYNTHETIC LAWN AREA FOR PETS, K9 BY FOREVERLAWN IS ONE POSSIBLE PRODUCT TO USE.
 - [5]** TREE IN GRATE, SEE DETAILS FOR MORE INFORMATION.
 - [12]** SOD LAWN, TYPICAL.
 - [13]** EXISTING LAWN TO REMAIN, TYP. CONTRACTOR SHALL REPAIR AREAS AFFECTED BY CONSTRUCTION TO MATCH EXISTING.
 - [14]** CONCRETE CONTROL JOINT @ 5' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS FOR CITY REQUIREMENTS.
 - [15]** CONCRETE EXPANSION JOINT @ 10' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS FOR CITY REQUIREMENTS.
 - [16]** CONCRETE LAWN EDGE, TYP.

- SYMBOL DESCRIPTION**
- [S-01]** CITRUS TABLE (WITH 4 VISTA CHAIRS, SEE S-103) 36" DIA. METAL FREE STANDING TABLE AS AVAILABLE FROM FORMS + STRUCTURES OR APPROVED EQUAL IN STANDARD COLOR ARGENTO WITH OWNER'S APPROVAL.
 - [S-02]** AH101-48 48-INCH LENGTH STRAIGHT BACKED BENCH WITH STEEL ARMS IN STANDARD COLOR FENSTER WITH OWNER'S APPROVAL. BENCH AS AVAILABLE FROM BRP BY BISON (WWW.BRPONLINE.COM, 888-438-5311) OR APPROVED EQUAL. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER.
 - [S-03]** SCVIS-AP METAL CHAIR WITH ARMS FROM FORMS + SURFACES OR APPROVED EQUAL. STANDARD ARGENTO COLOR WITH OWNER'S APPROVAL.

SHEET NOTES

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
5. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
6. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



REVISIONS		
#	DESCRIPTION	DATE

nystrom+olson
a r c h i t e c t u r e
912 W Sprague Ave, Spokane, WA 99201
PH: 509.328.8464 web: www.nocarch.com

MILL CREEK
132ND STREET SE - (EGUV)
MILL CREEK, WASHINGTON

PROJ. # 2302.02
DRAWN: JEM
CHECKED: TLG
DATE: 05.27.16

L1.1
LANDSCAPE PLAN

Attachment 9

PLANT SCHEDULE L1.2

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
	7	ACER RUBRUM 'BOHALL' / 'BOHALL' MAPLE	B & B	2" CAL	12'-14' HT.
	3	CHAMAECYPARIS OBTUSA 'GRACILIS' / HINOKI FALSE CYPRESS	B & B		8'-10' HT.
	4	EXISTING TREE TO REMAIN / EXISTING TREE TO REMAIN	EXISTING		
	14	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR	B & B	2" CAL	12'-14' HT.
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	
	6	AZALEA GIRARD HYBRID 'GIRARD'S ROSE' / 'GIRARD'S ROSE' AZALEA	3 GAL	@ 3' O.C.	
	4	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	@ 2-1/2' O.C.	
	20	CORNUS SERICEA 'ISANTI' / ISANTI REDOSIER DOGWOOD	5 GAL	@ 5' O.C.	
	14	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	5 GAL	@ 3-1/2' O.C.	
	29	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	@ 3' O.C.	
	59	MAHONIA AQUIFOLIUM / TALL OREGON GRAPE	5 GAL	@ 4' O.C.	
	25	MAHONIA REPENS / CREEPING MAHONIA	2 GAL	@ 3' O.C.	
	39	NANDINA DOMESTICA 'GULF STREAM' / 'GULF STREAM' NANDIA	3 GAL	@ 3' O.C.	
	12	PENNISETUM ALOPECUROIDES 'HAMELN' / 'HAMELN' GRASS	1 GAL	@ 2-1/2' O.C.	
	6	POLYSTICHUM MUNITUM / SWORD FERN	2 GAL	@ 3' O.C.	
	10	PRUNUS LAUROCERASUS 'MT. VERNON' / 'MT. VERNON' LAUREL	2 GAL	@ 2-1/2' O.C.	
	20	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL	@ 3-1/2' O.C.	
	10	SARGOCOGCA HOOKERANA HUMILIS / CREEPING SWEET BOX	2 GAL	@ 3' O.C.	
	1	SKIMMIA JAPONICA / SKIMMIA	5 GAL	@ 5' O.C.	
	2	SPIRAEA JAPONICA 'MAGIC CARPET' / 'MAGIC CARPET' SPIREA	2 GAL	@ 3' O.C.	
	8	VIBURNUM DAVIDII / DAVID VIBURNUM	5 GAL		
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING	
	116	LOW NATIVE SHRUB MIX PLANT LIKE PLANTS IN GROUPS OF 5-7, SEE REFERENCE NOTES SCHEDULE FOR SPECIES.	1 GAL.	4' O.C.	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING	
	64	COTONEASTER DAMMERI 'CORAL BEAUTY' / BEARBERRY COTONEASTER	1 GAL.	2-1/2' O.C.	
	62	EUONYMUS FORTUNEI 'COLORATA' / PURPLE-LEAF WINTER CREEPER	1 GAL.	2-1/2' O.C.	
	26	VINCA MINOR / COMMON PERIWINKLE	1 GAL.	2-1/2' O.C.	

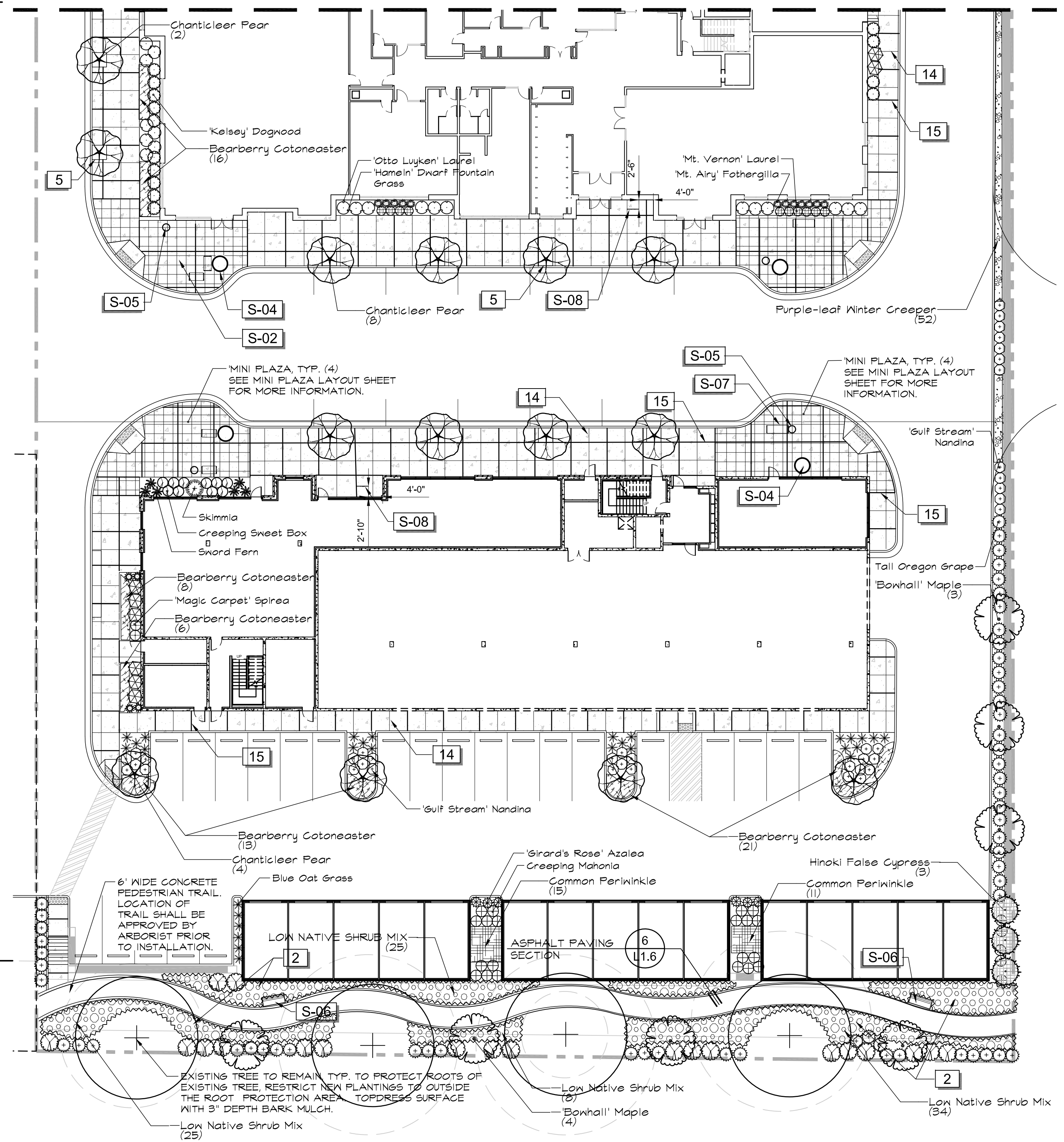
REFERENCE NOTES SCHEDULE L1.2

- SYMBOL DESCRIPTION**
- [2]** LOW NATIVE SHRUB MIX (SEE PLANT SCHEDULE FOR MORE INFORMATION):
-CORNUS SERICEA 'KELSEY' (KELSEY DOGWOOD)
-GAULTHERIA SHALLON (SALAL)
-MAHONIA AQUIFOLIUM COMPACTA (COMPACT OREGON GRAPE)
-SYMPHORICARPOS MOLLIS (CREEPING SNOWBERRY)
 - [5]** TREE IN GRATE, SEE DETAILS FOR MORE INFORMATION.
 - [14]** CONCRETE CONTROL JOINT @ 5' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS FOR CITY REQUIREMENTS.
 - [15]** CONCRETE EXPANSION JOINT @ 10' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS FOR CITY REQUIREMENTS.
- SYMBOL SITE FURNISHINGS DESCRIPTION**
- [S-02]** AH101-48 48-INCH LENGTH STRAIGHT BACKED BENCH WITH STEEL ARMS IN STANDARD COLOR PEWTER WITH OWNER'S APPROVAL. BENCH AS AVAILABLE FROM BRP BY BISON (WWW.BRPONLINE.COM, 888-438-5311) OR APPROVED EQUAL. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER.
 - [S-04]** MCS-4200 42" ROUND GFRC PLANTER WITH STANDARD SANDBLAST TEXTURE AND ADDED INTEGRAL WATERING RESERVOIR (CIRC TAPERED CONTAINER IRRIGATION INSERT) AS AVAILABLE FROM Tournesol Siteworks (WWW.TOURNESOL.COM, 800-542-2282) OR APPROVED EQUAL. COLOR SHALL BE STANDARD TERRA COTTA WITH OWNER'S APPROVAL. SIZE IRRIGATION INSERT AND INSTALL PLANTINGS AS RECOMMENDED BY MANUFACTURER.
 - [S-05]** MCS-ATR GFRC TRASH RECEPTACLE AS AVAILABLE FROM Tournesol Siteworks (WWW.TOURNESOL.COM, 800-542-2282) OR APPROVED EQUAL. COLOR SHALL BE STANDARD TERRA COTTA WITH OWNER'S APPROVAL.
 - [S-06]** AH15-T2EM: 72-INCH LENGTH STRAIGHT BACKED BENCH WITH ARMS AND WITH EMBEDDED MOUNT AS AVAILABLE FROM BRP BY BISON (WWW.BRPONLINE.COM, 888-438-5311) OR APPROVED EQUAL. IN STANDARD COLOR PEWTER WITH OWNER'S APPROVAL. MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER.
 - [S-07]** AH101-T2: 72-INCH LENGTH STRAIGHT BACKED BENCH WITH STEEL STREAMLINE BAR ENDS, AS AVAILABLE FROM BRP BY BISON (WWW.BRPONLINE.COM, 888-438-5311) OR APPROVED EQUAL. IN STANDARD COLOR PEWTER WITH OWNER'S APPROVAL. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER.
 - [S-08]** BWA2-05 5 BIKE CAPACITY BIKE RACK IN STANDARD COLOR BLACK WITH OWNER'S APPROVAL. AS AVAILABLE FROM BRP BY BISON (BRPONLINE.COM, 888-438-5311). SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER.

SHEET NOTES

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
5. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
6. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

MATCHLINE SHEET L1.1



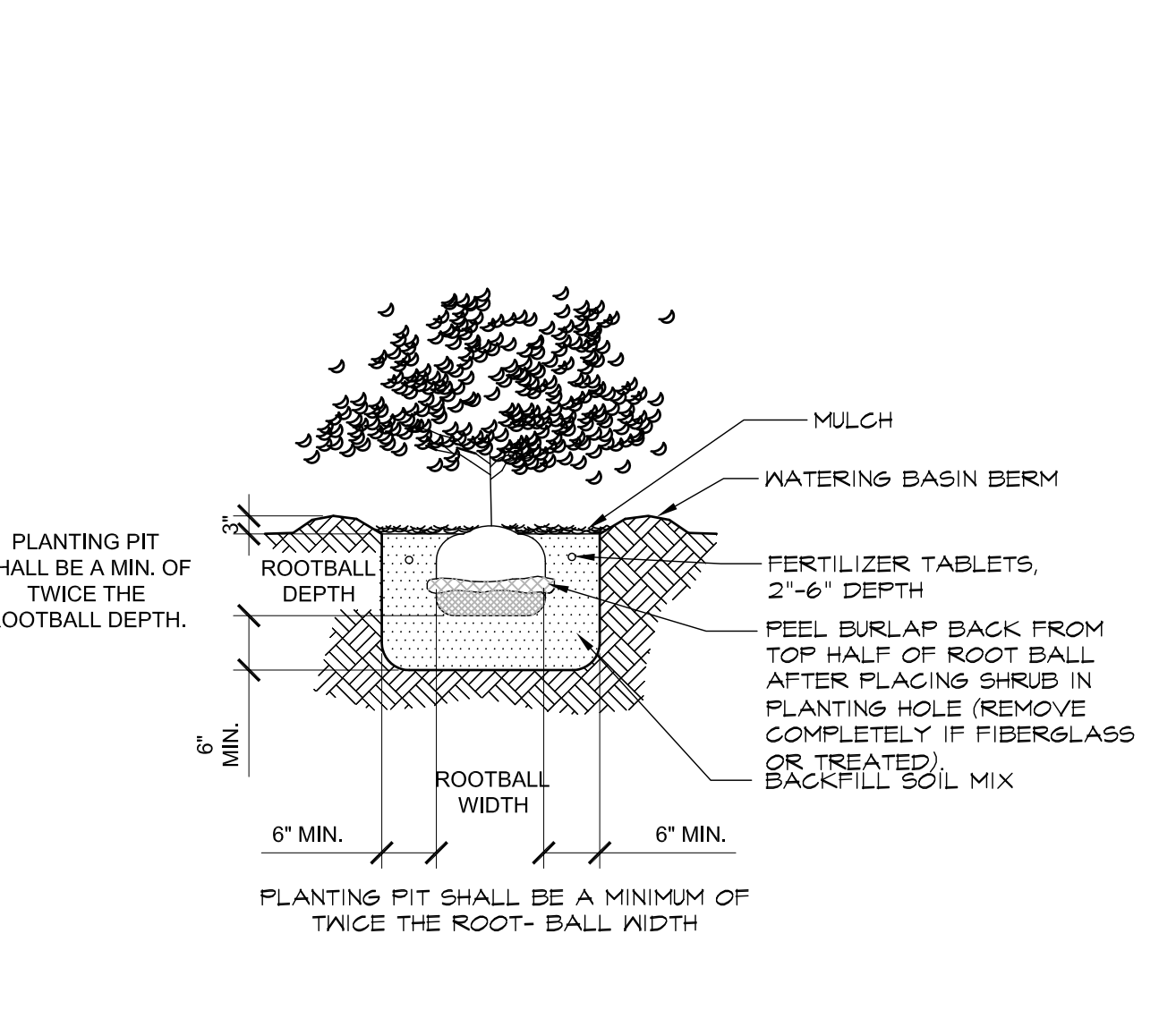
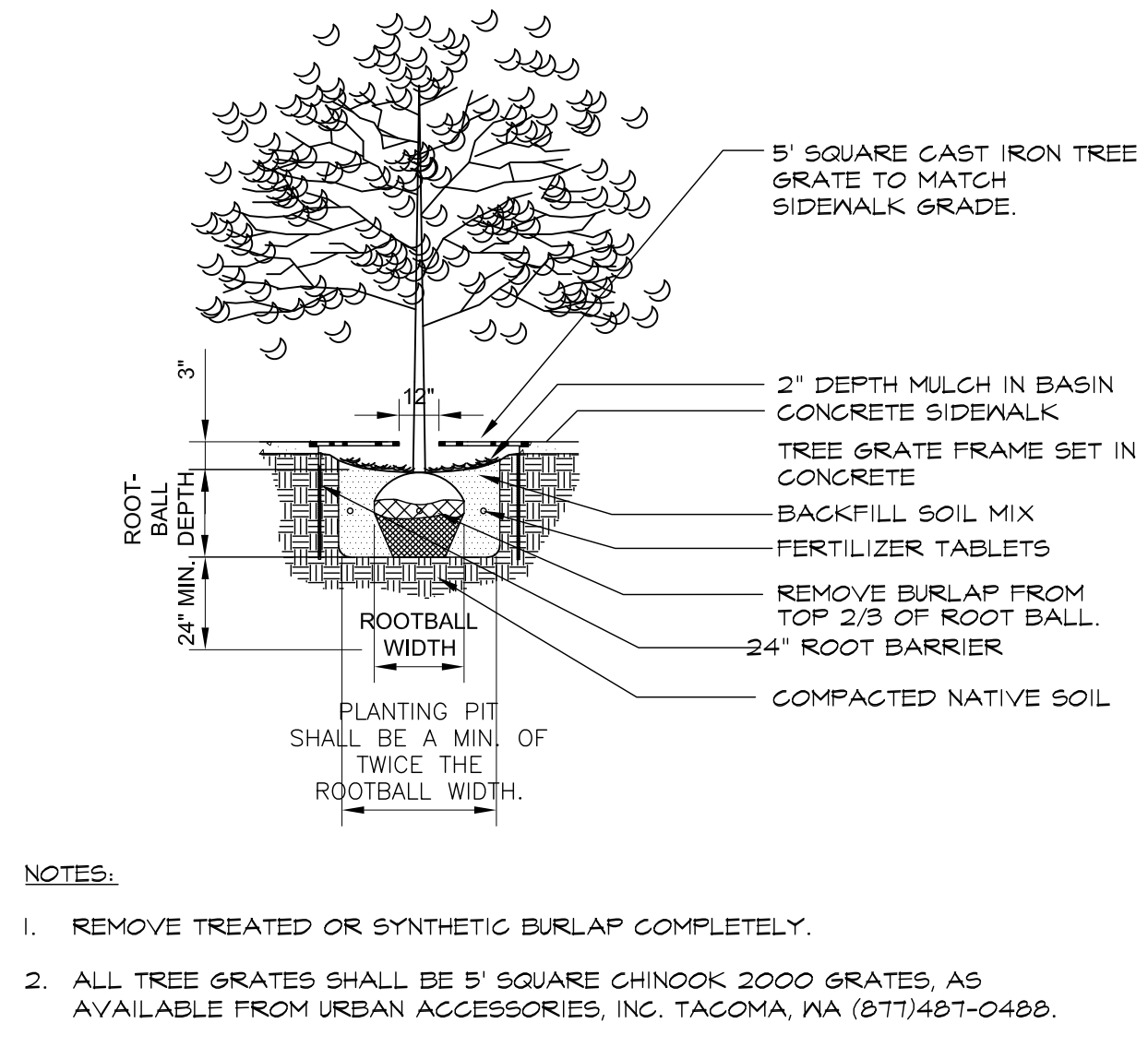
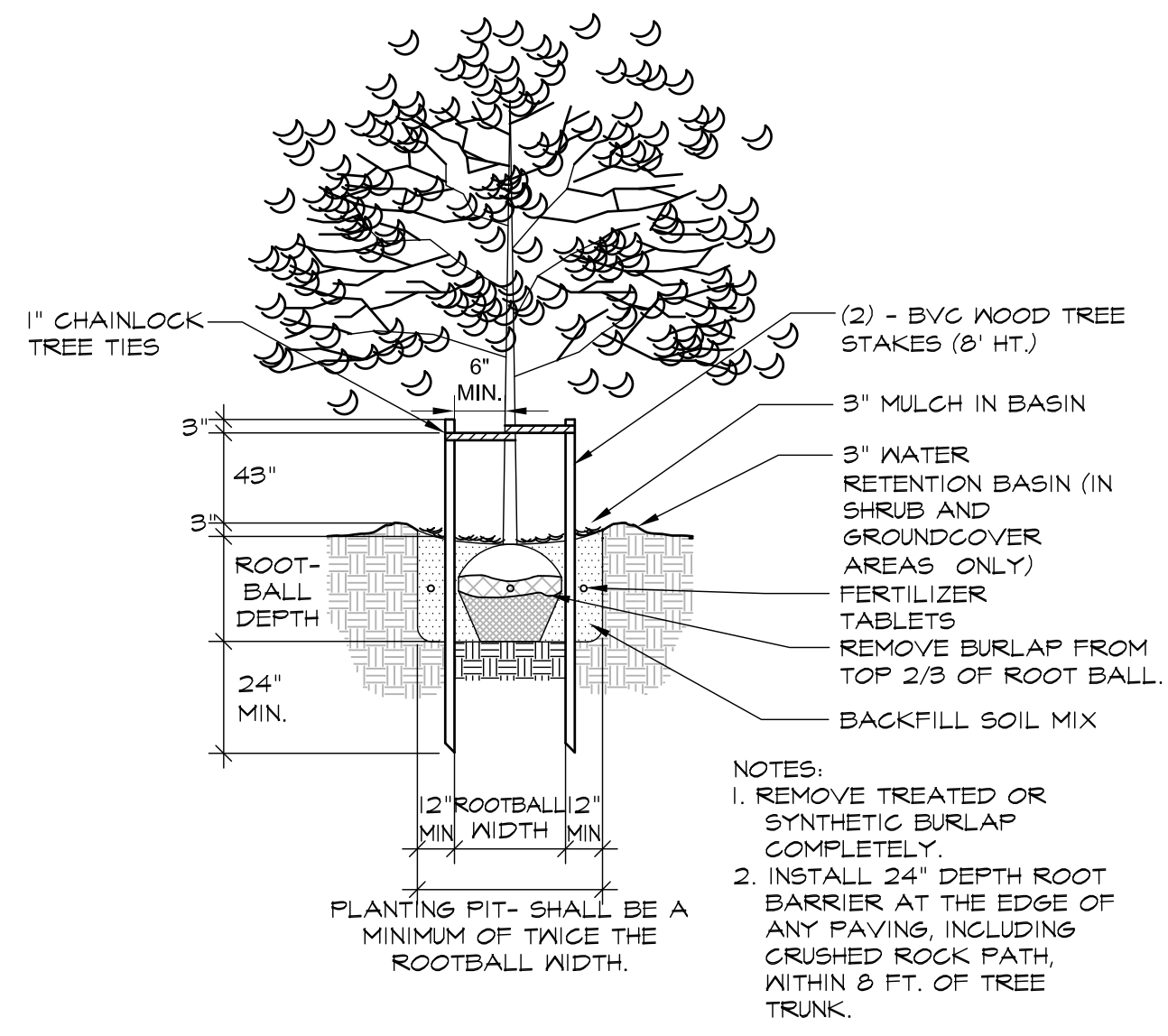
REVISIONS		
#	DESCRIPTION	DATE

nystrom+olson
 a r c h i t e c t u r e
 912 w. sprague ave. spokane, wa 99201
 ph: 509.328.6464 web: www.nocarch.com

MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJECT: JEM
 PROJ. #: 2302.02
 DRAWN: TLG
 CHECKED: TLG
 DATE: 05.27.16

L1.2
 LANDSCAPE PLAN



LANDSCAPE SPECIFICATIONS

- REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- CHEMICALLY KILL AND REMOVE FROM SITE ALL EXISTING WEEDS AND VEGETATION NOT SHOWN TO REMAIN ON PLANS.
- DISTRIBUTE IMPORTED SANDY LOAM TOPSOIL (APPROVED BY THE LANDSCAPE ARCHITECT) IN AREAS SHOWN AND AT DEPTHS INDICATED FOR CROPPING AND BERNING OF LANDSCAPE AREAS, AND BACKFILL OF RETAINING WALLS (IF REQUIRED). DOTTED LINES INDICATE 1' CONTOR INTERVALS. ALL LANDSCAPE AREAS TO RECEIVE TOPSOIL, WHETHER INDICATED ON PLANS OR NOT SO THAT FINISH GRADES OF ALL SHRUB BEDS SHALL BE 2" BELOW TOPS OF ADJACENT CURBS AND PAVEMENT, AND LAWN AREAS SHALL BE 1/2" BELOW TOPS OF ADJACENT CURBS AND PAVEMENT. STRUCTURAL FILL AREAS, ANY LANDSCAPE AREAS OCCURRING WITHIN STRUCTURAL FILL ZONES SHALL HAVE SAND STRUCTURAL FILL MATERIALS ENCAVATED TO A DEPTH OF 12" BELOW FINISH GRADES IN SHRUB AREAS AND 6" BELOW GRADE IN LAWN AREAS, AND REPLACED WITH SPECIFIED TOPSOIL. DISPOSE OF EXCAVATED MATERIAL OFF SITE.
- FINE GRADE ALL LANDSCAPE BEDS PRIOR TO PLANTING OPERATIONS.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
- ALL PLANTS SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANT MATERIALS AND PLANT LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANTS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING WITH ALASKA FISH FERTILIZER SOLUTION.
- ROOT BARRIER SHALL BE INCORPORATED ADJACENT AND PARALLEL TO PAVING CURB AND SIDEWALK, A MINIMUM OF 15 LINEAR FEET (15' ON EITHER SIDE OF TRUNK), 24" DEEP, WHERE ANY TREE IS WITHIN 6' OF PAVING, CURB OR SIDEWALK. ROOT BARRIER SHALL BE DEEPROOT LB-24 AS AVAILABLE FROM EVING IRRIGATION PRODUCTS, 2901 S TACOMA WAY, TACOMA, WA 98409 (253) 476-9530 OR APPROVED EQUAL.
- SOIL AMENDMENT FOR SOIL PREPARATION, GARDEN BED MIX AND PLANTING BACKFILL SHALL BE A SCREENED 5/8" MINUS NITRIFIED ROOD RESIDUAL COMPOST EQUAL TO:
 - SILVER SPRINGS TOP GRADE COMPOST BRAND COMPOST AS AVAILABLE FROM CORLISS RESOURCES LAKE TAPPS, WA (253) 278-1022
 - GEDAR GROVE COMPOST BRAND COMPOST AS AVAILABLE FROM CEDAR GROVE COMPOST, MAPLE VALLEY, WA (877) 764-5748.
 - PREPLER COMPOST AS AVAILABLE FROM RANDES SAND AND GRAVEL, INC., PUYALLUP, WA (253) 597-6828.
- SOIL PREPARATION (ALL LANDSCAPE AREAS), SPREAD 4 C.Y. OF SPECIFIED SOIL AMENDMENT PER 1000 S.F. (APPROX. 3" DEPTH) OF AREAS. SPREAD 100 LBS/1000 S.F. OF SOLOLINE (18" LAWN AREAS ONLY), 150 LBS/1000 S.F. OF AGRICULTURAL GYPSUM AND 15 LBS/1000 S.F. OF 16-8-8 COMMERCIAL FERTILIZER OVER SOIL AMENDMENT. ROTOTILL ALL OF THE ABOVE TO A 6-8" DEPTH AND GRADE SMOOTH, COMPACTING AS REQUIRED AND REMOVING ALL ROCKS, CLODS AND DEBRIS.
- GARDEN SOIL MIX SHALL CONSIST OF 50% APPROVED SANDY LOAM TOPSOIL AND 50% SPECIFIED COMPOST SOIL AMENDMENT. SEE PLANS FOR RAISED GARDEN BED LOCATIONS.
- LAWN AREAS (SEED OR SOD REFER TO PLANS) SHALL CONSIST OF ONE OF THE FOLLOWING TURF TYPES:

60% TURF-TYPE PERENNIAL RYE GRASS VARIETIES	60% TURF-TYPE PERENNIAL RYE GRASS VARIETIES
20% BLUEGRASS	40% TURF-TYPE FESCUE
20% HARD FESCUE	
- SEED AND SOD SHALL BE EQUAL TO THAT AS GROWN BY COUNTRY GREEN TURF FARMS, OLYMPIA, WA OR JB INSTANT LAWN, REDMOND, WA. SEED SHALL BE APPLIED AT 7 LBS/1000 S.F. AND INCLUDE 10 LBS/1000 S.F. OF UNITED HORTICULTURE 15-5-10 FERTILIZER IN ALL LAWN AREAS.
- ALL TREES IN LAWN AREAS SHALL BE PLANTED IN A 3' DIAMETER CIRCLE OF BED MULCH.
- BACKFILL MIX FOR ALL PLANTS (EXCEPT RHODODENDRONS & AZALEAS) SHALL BE A BLEND OF 1/3 EXISTING SITE SOIL, 1/3 COARSE SAND, AND 1/3 SOIL AMENDMENT SPECIFIED IN NO. 4. BACKFILL MIX FOR RHODODENDRONS AND AZALEAS SHALL CONSIST OF 2/3 ABOVE SPECIFIED BACKFILL MIX AND 1/3 FINE GRIND HEM-FIR BARK MULCH.
- APPLY OSMOCOTE 18-6-12, 9 MONTH SLOW RELEASE FERTILIZER OVER THE SURFACE OF ALL PLANT PITS AT THE FOLLOWING RATES:

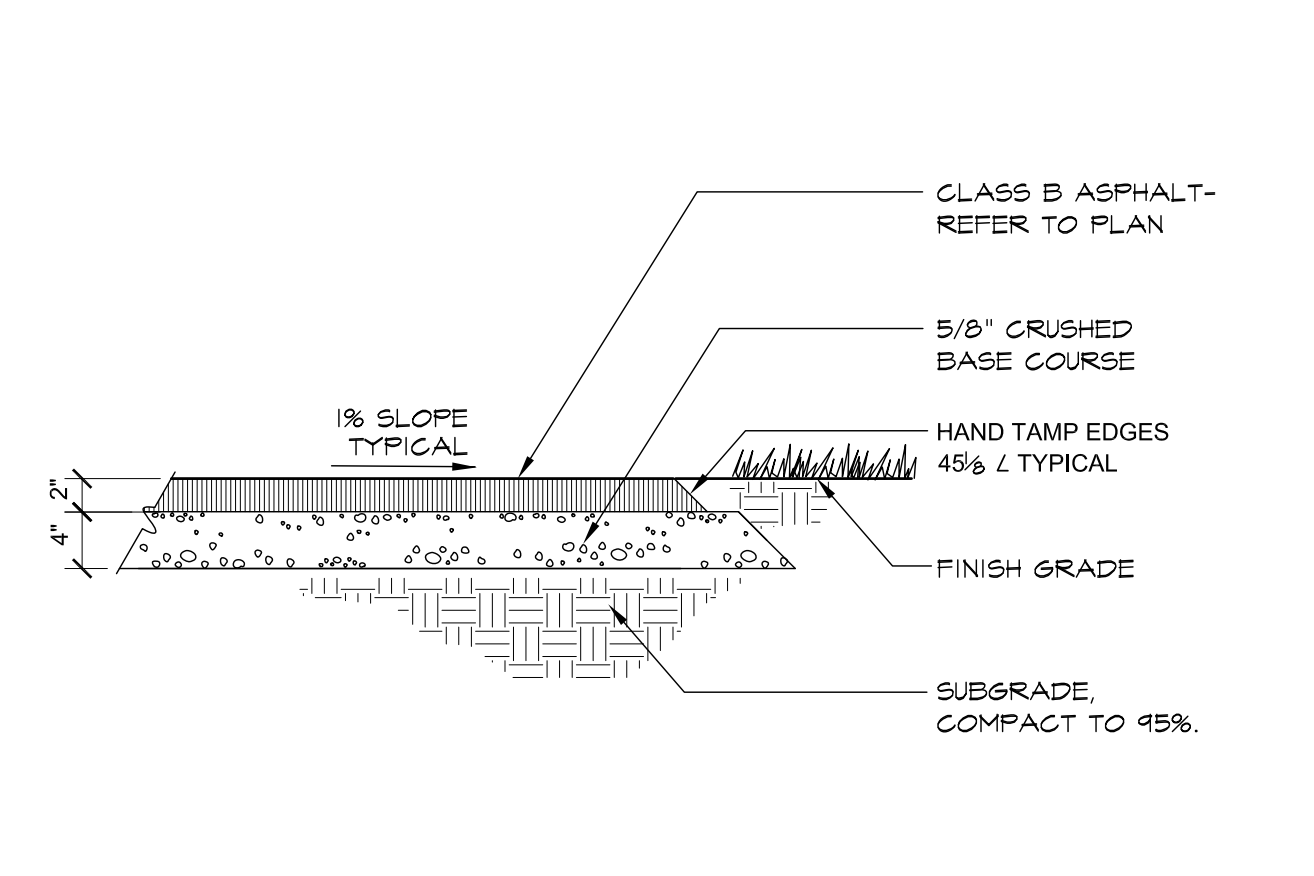
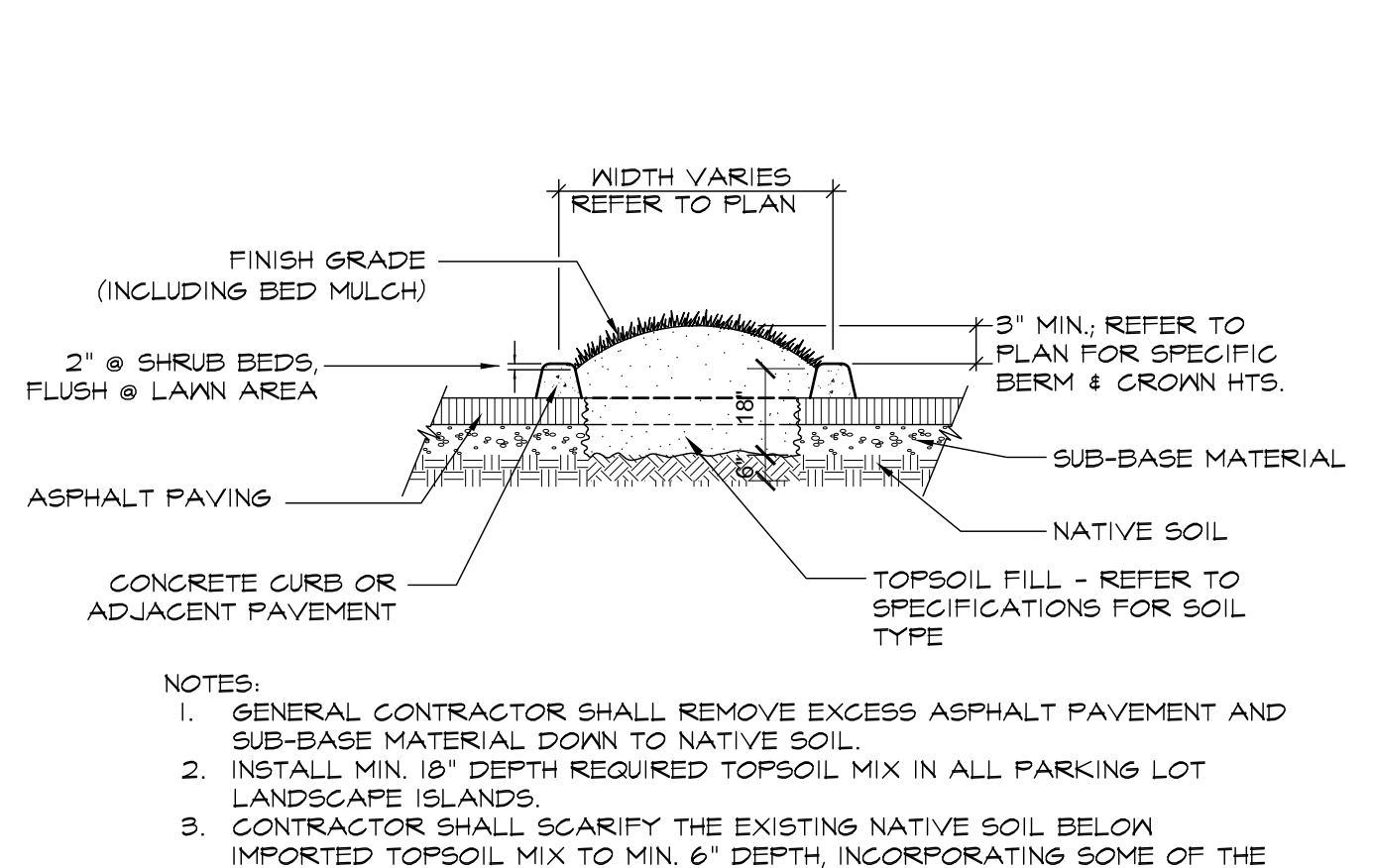
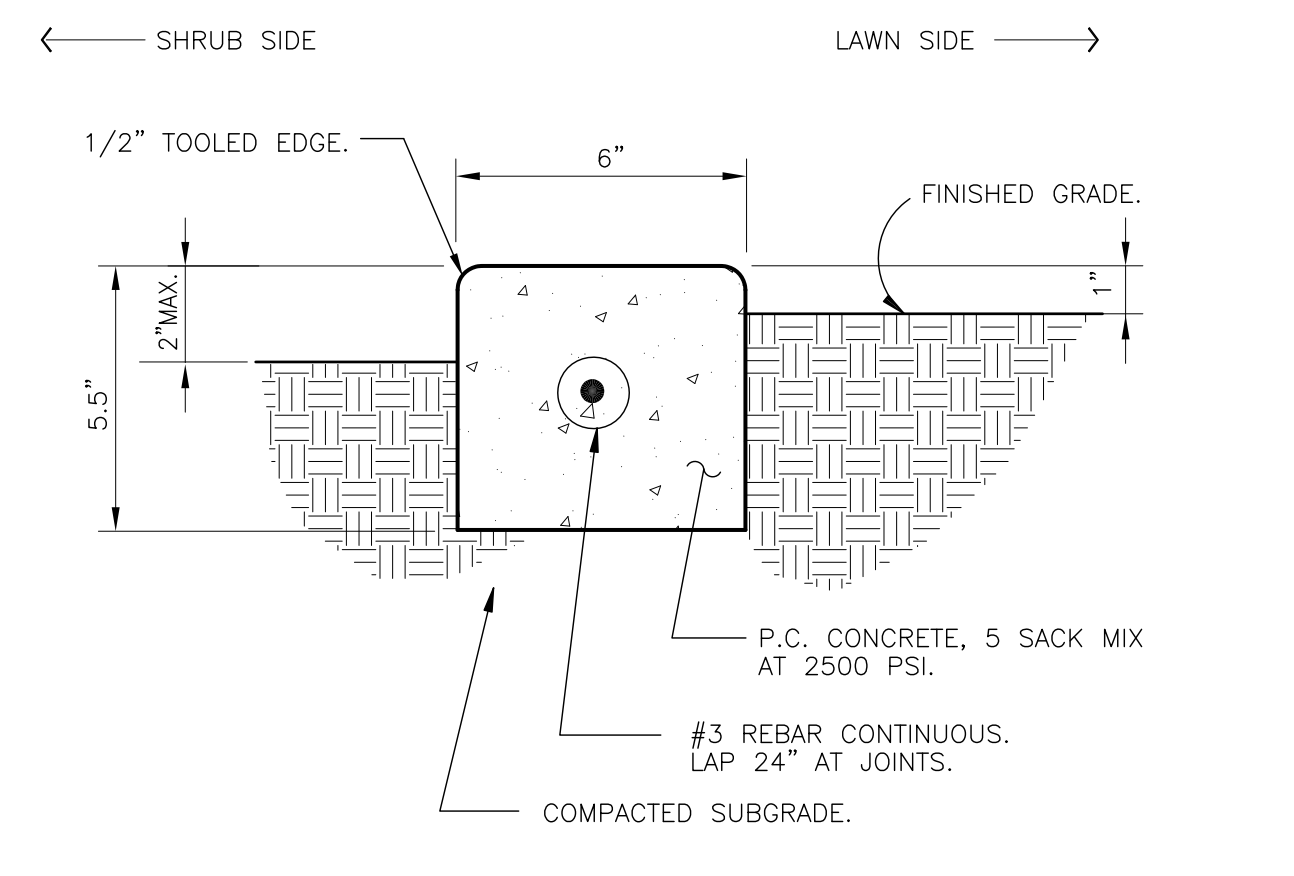
TREES OVER 10' HEIGHT	2 CUPS	TREES UNDER 10' HEIGHT	1 CUP
ALL SHRUBS EXCEPT 1 GALLONS	1/2 CUP	1 GALLON PLANTS	1/4 CUP
GROUND COVERS	1/4 CUP		
- FERTILIZER TABLETS FOR ALL PLANTS SHALL BE AGRIFORM (20-10-5) 21 GRAM OR 10 GRAM TABLETS DISTRIBUTED AS FOLLOWS:

ALL TREES: 4-21 GRAM TABLETS (11" LAWN AREAS ONLY)	1 GALLONS	1-21 GRAM TABLET, ALL 2-1/4" AND 4" POT GROUND COVERS	1-10 GRAM TABLET EACH. SET TABLETS DIRECTLY NEXT TO ROOTBALL.
--	-----------	---	---
- ALL SHRUB AND GROUND COVER BEDS SHALL RECEIVE A 2" DEPTH (6 C.Y. PER 1000 S.F.) OF "FINE GRIND" HEM-FIR BARK MULCH AS TOP DRESSING.
- APPLY A GRANULAR PRE-EMERGENT HERBICIDE TO ALL SHRUB AND GROUND COVER BEDS AT THE CONCLUSION OF THE MAINTENANCE PERIOD. DO NOT USE CASARON OR NORASAC BRANDS.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF PROJECT ACCEPTANCE. ALL REPLACED PLANTS SHALL BE RE-GUARANTEED. ALL REPLACEMENTS SHALL BE MADE WITHIN 21 DAYS OF RECEIVING WRITTEN NOTICE FROM THE OWNER. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR PLANTS DYING DUE TO OWNER NEGLIGENCE OR VANDALISM, AFTER THE MAINTENANCE PERIOD.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN, GROUND COVER AND/OR MASS SHRUB QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACINGS.
 - MON-LAWN ONCE PER WEEK
 - REMOVE ALL WEEDS OVER 1" IN HEIGHT
 - REPLACE DEAD OR UNEALTHY PLANTS
 - ENSURE PROPER FUNCTION OF IRRIGATION SYSTEM.
 - ENSURE ADEQUATE MOISTURE IS DELIVERED TO ALL LANDSCAPE BEDS INCLUDING NON-IRRIGATED AREAS.
 - FERTILIZE ALL LAWNS AT CONCLUSION OF MAINTENANCE AND PLANT ESTABLISHMENT PERIOD.

1 TREE PLANTING & STAKING DETAIL
N.T.S. 3243-02

2 TREE GRATE & PLANTING DETAIL
N.T.S. 3243-05, 54-02

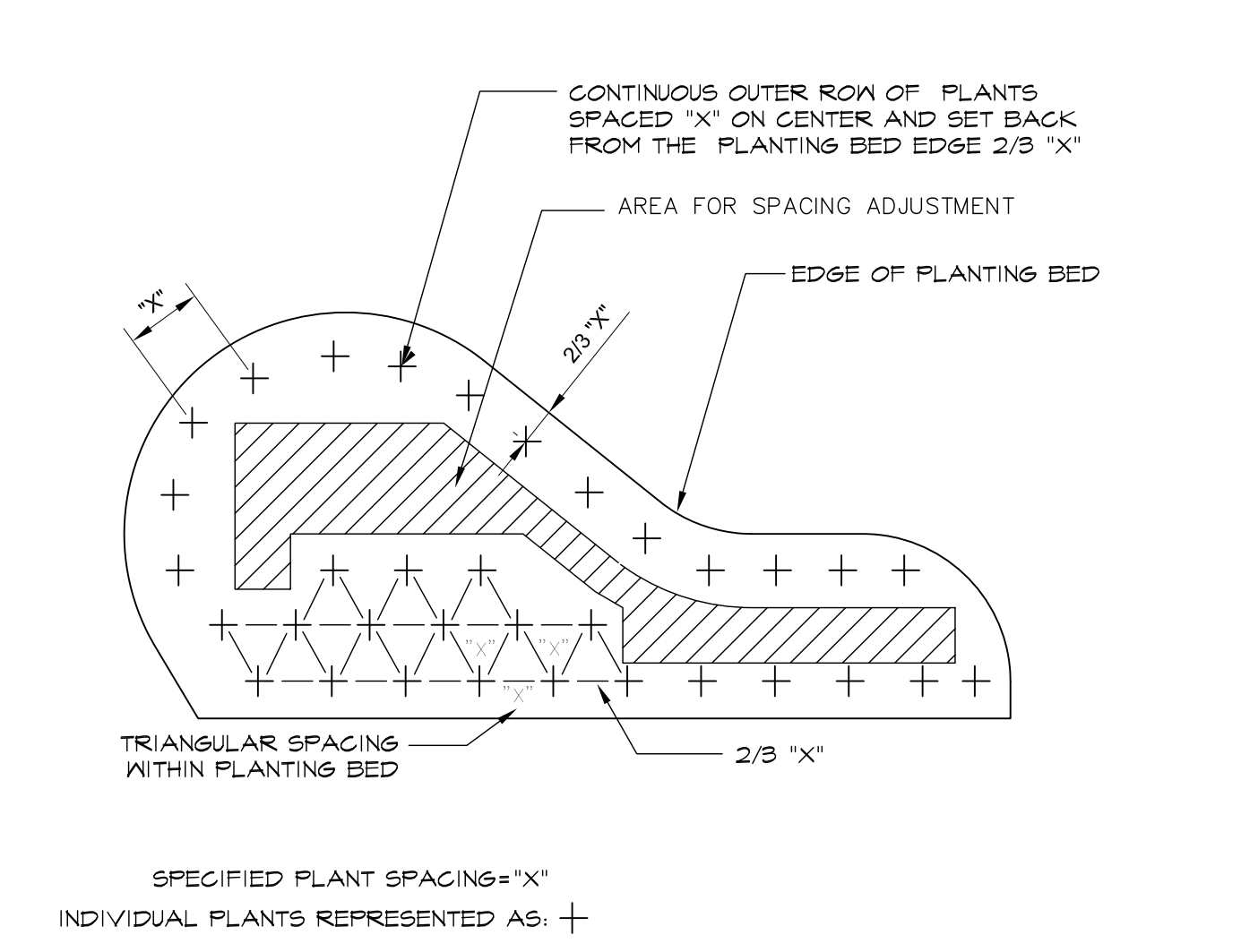
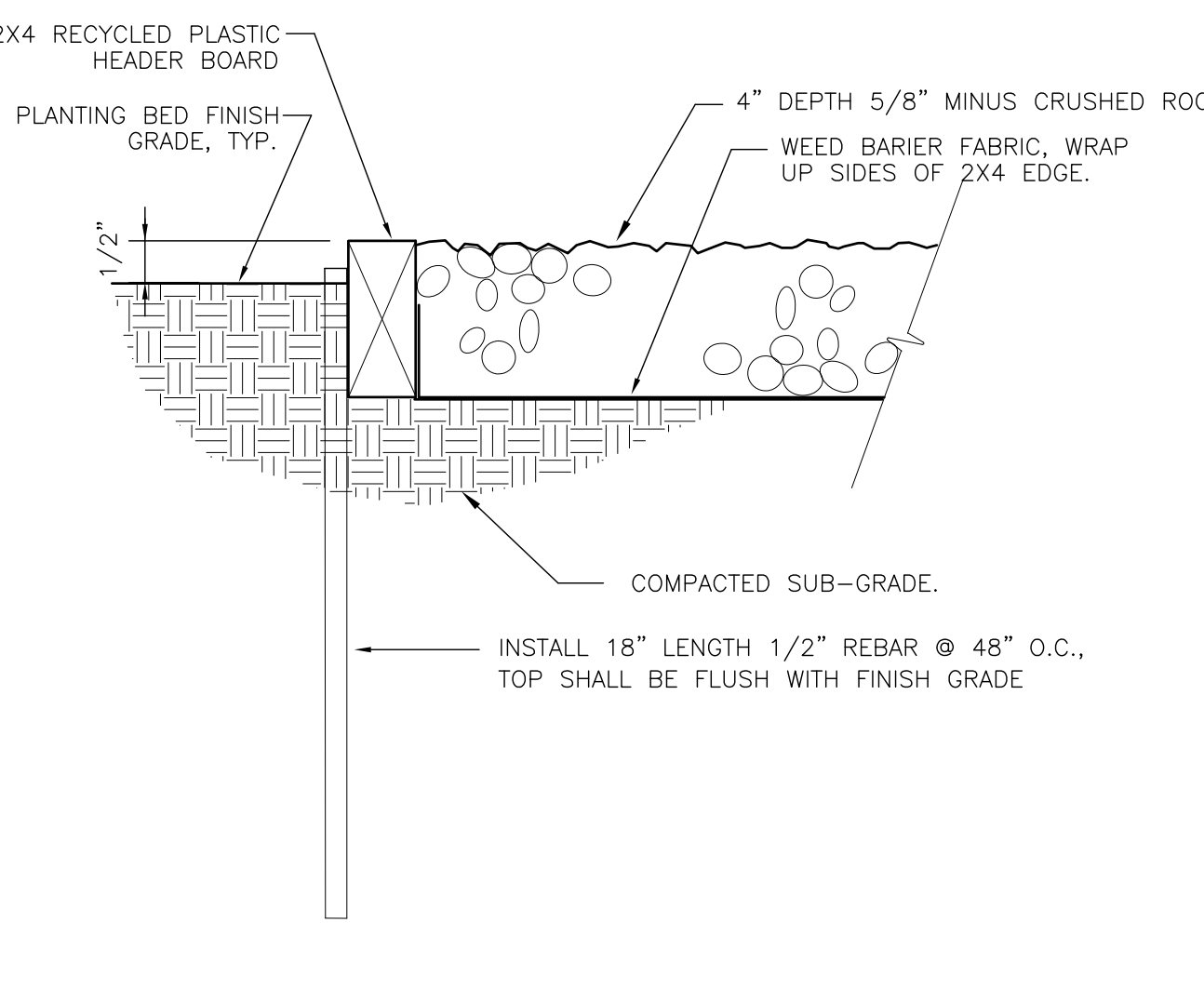
3 SHRUB PLANTING DETAIL (B&B OR CONT.)
NTS 3243-01



4 6" CONCRETE MOW STRIP
3" x 1'-0" 3244/3, 19-03

5 PARKING ISLAND PLANTER DETAIL
NTS 3243-05

6 ASPHALT PAVING SECTION
NTS 3212-01



7 EDGE AT GRAVEL PAVING
3" x 1'-0" 321543-03

8 PLANT SPACING DETAIL
NTS 3243-04

CONCRETE NOTES

- THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, CANOPIES, GUARDS, LIGHTS AND WARNING SIGNS TO THE EXTENT REQUIRED BY LAW AND AS IS PRUDENT FOR THE PROTECTION OF THE PUBLIC AND PROTECTION OF THE WORK.
- CONCRETE MIX SHALL BE CLASS B (3/4), PER SEATTLE STANDARD SPECIFICATIONS (MOST RECENT EDITION), SECTION 8-14, CEMENT CONCRETE SIDEWALKS, CHARACTERISTICS AS FOLLOWS:

28 DAY COMPRESSIVE STRENGTH	2300 PSI
44# SACKS CEMENT PER CUBIC YARD	5
DRY FINE AGGREGATE PER SACK	291 LB
COARSE AGGREGATE PER SACK	307 LB MAX.
WATER	6.5 GALL/SACK
FIBROUS REINFORCING	1.5 LB/CY
SLUMP (PER ASTM C143)	2 - 3.5 INCHES
- FINE AGGREGATES SHALL CONSIST OF SAND OR OTHER INERT MATERIALS, OR COMBINATIONS THEREOF, HAVING HARD, STRONG, DURABLE PARTICLES FREE FROM AN ADHERENT COATINGS. FINE AGGREGATE SHALL BE WASHED THOROUGHLY TO REMOVE CLAY, LOAM, ALKALI, ORGANIC MATTER, OR OTHER DELETERIOUS MATTER. FINE AGGREGATE #2 PARTICLE GRADATION SHALL BE AS FOLLOWS:

SIEVE SIZE	% PASSING
#4	45 - 100
#8	65 - 85
#16	47 - 65
#30	21 - 42
#60	1 - 20
#100	0 - 7
#200 (WET)	0 - 2.5
- COARSE AGGREGATE SHALL CONSIST OF GRAVEL, CRUSHED STONE, OR OTHER INERT MATERIAL, OR COMBINATIONS THEREOF HAVING HARD, STRONG, DURABLE PARTICLES FREE FROM ADHERENT COATINGS. COARSE AGGREGATE SHALL BE WASHED TO THOROUGHLY REMOVE CLAY, SILT, BARK, STICKS, ALKALI, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIAL. COARSE AGGREGATE #5 PARTICLE GRADATION SHALL BE AS FOLLOWS:

SIEVE SIZE	% PASSING
1" SQUARE	100
3/4" SQUARE	90 - 100
3/8" SQUARE	10 - 40
#4	0 - 4
#10	0 - 0.5
- SET FORMS TO REQUIRED GRADES AND ALIGNMENTS RIGIDLY BRACED AND SECURED. INSTALL SUFFICIENT QUANTITY OF FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO THAT FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- CHECK COMPLETED FORM WORK FOR GRADE AND ALIGNMENT TO FOLLOWING TOLERANCES:

TOP OF FORMS NOT MORE THAN 1/8" INCH IN 10 FEET
VERTICAL FACE, ON LONGITUDINAL AXIS, NOT MORE THAN 1/4" IN 10 FEET.
- CLEAN FORMS AFTER EACH USE AND COAT WITH FORM RELEASE AGENT AS OFTEN AS REQUIRED TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
- LOCATE AND PLACE REINFORCEMENT AS INDICATED ON THE CONTRACT DRAWINGS. SUPPORT REINFORCING STEEL OR WIRE FABRIC WITH PRE-CAST CONCRETE BLOCKS AT SPACING THAT WILL ENSURE MINIMUM DEFLECTION OF THE REINFORCEMENT.
- CONCRETE ENGINEERED REINFORCING FIBERS (OPTIONAL FOR SLABS ONLY INSTEAD OF OR IN CONJUNCTION WITH STEEL REINFORCEMENT WHERE VEHICLE TRAFFIC IS ANTICIPATED). ADD REINFORCING FIBERS TO CONCRETE MIX PER MANUFACTURERS INSTRUCTIONS FOR SPECIFIED COMPREHENSIVE CONCRETE STRENGTH.
- DO NOT PLACE CONCRETE UNTIL SUB-BASE, FORMS, AND REINFORCEMENT HAVE BEEN CHECKED FOR LINE AND GRADE. MOISTEN SUB-BASE IF REQUIRED TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
- THE CONCRETE SHALL BE PLACED AND SPREAD UNIFORMLY BETWEEN THE FORMS AND THOROUGHLY COMPACTED WITH A STEEL SHOD STRIKE-BOARD.
- AFTER THE CONCRETE HAS BEEN THOROUGHLY COMPACTED AND LEVELED, IT SHALL BE FLOATED WITH WOOD FLOATS AND FINISHED AT THE PROPER TIME WITH A METAL FLOAT.
- JOINTS SHALL BE EDGED WITH A QUARTER-INCH (1/4") RADIUS EDGER, AND SIDEWALK EDGES WITH A HALF-INCH (1/2") RADIUS EDGER.
- EXPANSION JOINT PLACEMENT SHALL BE 10' TO 15' SPACING, WITH CONTROL JOINT SPACING EQUAL AND ALTERNATING. PROVIDE JOINTS AS SHOWN ON THE CONTRACT DRAWINGS.
- PROVIDE CONTROL JOINTS, DIVIDING THE CONCRETE AREAS AS INDICATED ON THE DRAWINGS.
- FORM CONTROL JOINTS IN FRESH CONCRETE BY GROOVING TOP PORTION WITH A RECOMMENDED CUTTING TOOL, AND FINISHING EDGES WITH A JOINTER.
- EXPANSION JOINTS: PROVIDE PRE-MOLDED JOINT FILLER FOR EXPANSION JOINTS ABUTTING CONCRETE CURBS, GATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALLS AND OTHER FIXED OBJECTS AS APPLICABLE OR AS INDICATED IN THE CONTRACT DRAWINGS.
- EXPANSION JOINTS SHALL BE LOCATED AND PLACED ACCORDING TO THE CONTRACT DRAWINGS AND SO SUFFICIENTLY SUPPORTED TO ENSURE FINAL PLACEMENT PERPENDICULAR TO THE FINISHED SURFACE OF THE PAVEMENT. EXTEND JOINT FILLERS FULL WIDTH AND DEPTH OF JOINT AND NOT LESS THAN 1/2 INCH OR MORE THAN 1 INCH BELOW FINISHED SURFACE WHERE JOINT SEALER IS INDICATED. FURNISH JOINT FILLERS IN ONE-PIECE LENGTHS FOR FULL WIDTH BEING PLACED, WHEREVER POSSIBLE. WHERE MORE THAN ONE LENGTH IS REQUIRED, LACE OR CLIP JOINT FILLER SECTIONS TOGETHER. PROTECT TOP EDGE OF JOINT FILLER DURING CONCRETE PLACEMENT WITH A METAL OR PLASTIC TEMPORARY STRIP. REMOVE PROTECTION AFTER CONCRETE HAS BEEN PLACED ON BOTH SIDES OF JOINT BEFORE SEALANT IS APPLIED.
- AFTER STRIKING OFF AND CONSOLIDATING CONCRETE, SMOOTH SURFACE BY SCREENING AND FLOATING. USE HAND METHODS ONLY WHERE MECHANICAL FLOATING IS NOT POSSIBLE. ADJUST FLOATING TO COMPACT SURFACE IRREGULARITIES, AND REFLOAT REPAIRED AREA TO PROVIDE A CONTINUOUS SMOOTH FINISH.
- AFTER COMPLETION OF FLOATING AND TROWELLING WHEN EXCESS MOISTURE OR SURFACE SHEEN HAS DISAPPEARED, COMPLETE FINISHING AS FOLLOWS:
 - BROOM FINISH BY DRAWING FINE HAIR BROOM ACROSS CONCRETE SURFACE, PERPENDICULAR TO LINE OF TRAFFIC AFTER THE TOOLED GRID IS INSTALLED. THE ENGINEER'S DECISION WILL BE FINAL ON ACCEPTANCE OF JOINT FINISHING DETAILS AND SURFACE FINISHES.
 - PROTECT AND CURE FINISHED CONCRETE PAVING, COMPLYING WITH APPLICABLE REQUIREMENTS (SDOT STANDARDS). PROVIDE CURING AND SEALING COMPOUND OR MOISTURE CURING METHOD TO OWNER FOR APPROVAL.
 - REPAIR AND REPLACE BROKEN OR DEFECTIVE CONCRETE AS DIRECTED BY ENGINEER.
 - PROTECT CONCRETE FROM DAMAGE UNTIL ACCEPTANCE OF WORK. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST FOURTEEN (14) DAYS AFTER PLACEMENT. WHEN CONSTRUCTION TRAFFIC IS PERMITTED, MAINTAIN PAVEMENT AS CLEAN AS POSSIBLE BY REMOVING SURFACE STAINS AND SPILLAGE OF MATERIALS AS THEY OCCUR.
 - SWEEP CONCRETE PAVEMENT AND WASH FREE OF STAINS, DISCOLORATION, DIRT AND OTHER FOREIGN MATERIAL JUST PRIOR TO FINAL INSPECTION.

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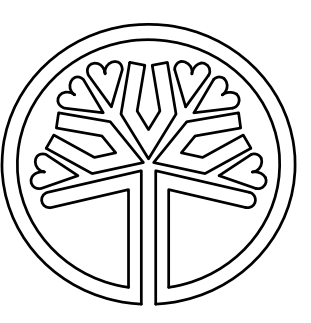
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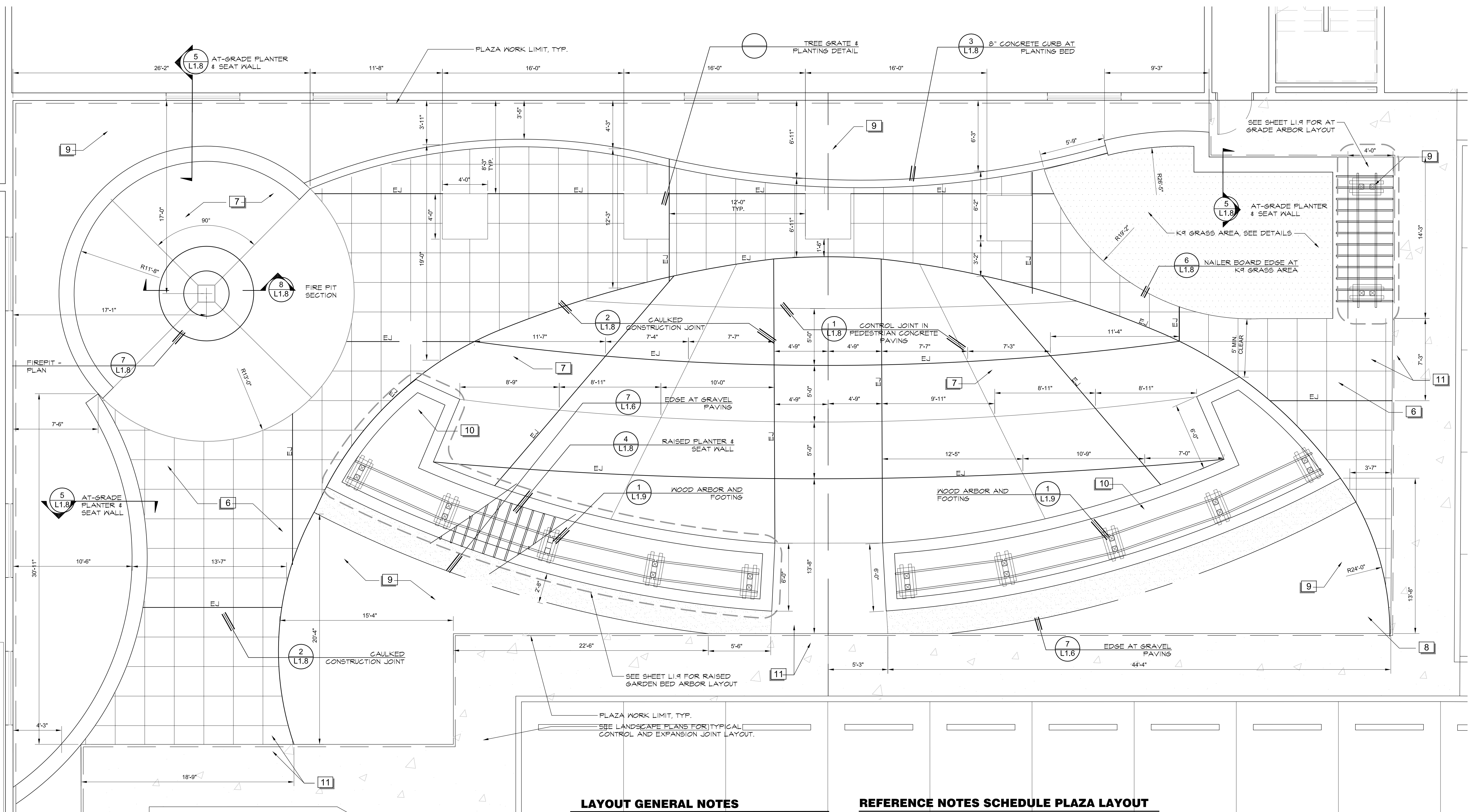
MILL CREEK
132ND STREET SE - (EGUV)
MILL CREEK, WASHINGTON

PROJECT: MILL CREEK
PROJ. # 2302.02
DRAWN: JEM
CHECKED: TLG
DATE: 05.27.16

L1.6

LANDSCAPE DETAILS





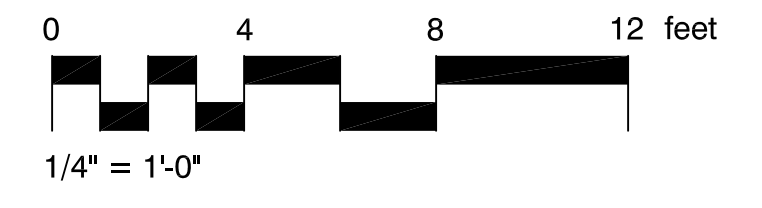
REVISIONS		
#	DESCRIPTION	DATE

LAYOUT GENERAL NOTES

- SEE CIVIL, ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- SEE SITE SURVEY FOR EXISTING CONDITIONS. SEE CIVIL FOR UTILITIES, CLEARING, GRUBBING, AND GRADING REQUIREMENTS. CONCRETE WALKS, ASPHALT PAVING AND OTHER SITE IMPROVEMENTS. SEE CIVIL DRAWINGS FOR SITE WORK DIMENSIONS.
- CONTRACTOR SHALL STAKE OUT PLAZA AND FIELD VERIFY LOCATIONS AND ADJUST BASED ON ACTUAL FIELD CONDITIONS (IF NECESSARY) FOR APPROVAL PRIOR TO CONSTRUCTION.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR TREE PROTECTION AND REMOVAL OF EXISTING TREES.
- SEE CIVIL DEMOLITION DRAWINGS FOR REMOVAL OF SITE FEATURES.
- REFER TO CIVIL DRAWINGS FOR LOCATION OF CATCH BASINS, MANHOLES, FIRE HYDRANTS AND OTHER SITE UTILITIES.
- SEE CIVIL DRAWINGS FOR ELEVATIONS OF ALL PAVING, LOCATION OF BUILDING ON THE SITE AND ADDITIONAL OFF-SITE WORK. SEE ARCHITECTURAL FLOOR PLANS FOR DOWNSPOUT LOCATIONS.
- PROVIDE PVC SLEEVE UNDER PAVEMENT AREAS FOR IRRIGATION SYSTEM PIPING AND WIRING. SEE IRRIGATION DRAWINGS FOR ALL LOCATIONS AND SIZES.

REFERENCE NOTES SCHEDULE PLAZA LAYOUT

SYMBOL	DESCRIPTION
6	STANDARD CONCRETE PAVING WITH 2'-6" X 2'-6" GRID PATTERN, REFER TO ARCHITECTURAL/CIVIL PLANS FOR SPECIFICATIONS. SCORE PATTERN SHALL BE ALIGNED WITH SIDEWALK EDGE. FIELD ADJUST AS NEEDED FOR SITE CONDITIONS.
7	COLORLED CONCRETE PAVING. CONCRETE SHALL BE STANDARD COLOR 'SUMMER BEIGE' AS MANUFACTURED BY M. SCOFIELD CO. (1-800-800-9900, WWW.SCOFIELD.COM) OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLE COLORS FOR OWNER'S APPROVAL PRIOR TO INSTALLATION. AFTER INITIAL APPROVAL, CONTRACTOR SHALL PROVIDE A 2'X2' MOCK-UP FOR OWNER'S APPROVAL. CONTRACTOR SHALL CURE AND SEAL CONCRETE, AS PER MANUFACTURER'S RECOMMENDATIONS.
8	LANDSCAPE BED, SEE LANDSCAPE AND IRRIGATION PLANS
9	RAISED GARDEN BED, SEE LANDSCAPE SHEET NOTES AND IRRIGATION PLANS.
10	CONTRACTOR SHALL MATCH THE GRADE OF ALL ADJACENT SITE PAVING. SEE CIVIL PLANS.
EJ	CAULKED CONSTRUCTION JOINT, SEE DETAIL SHEET L1.8

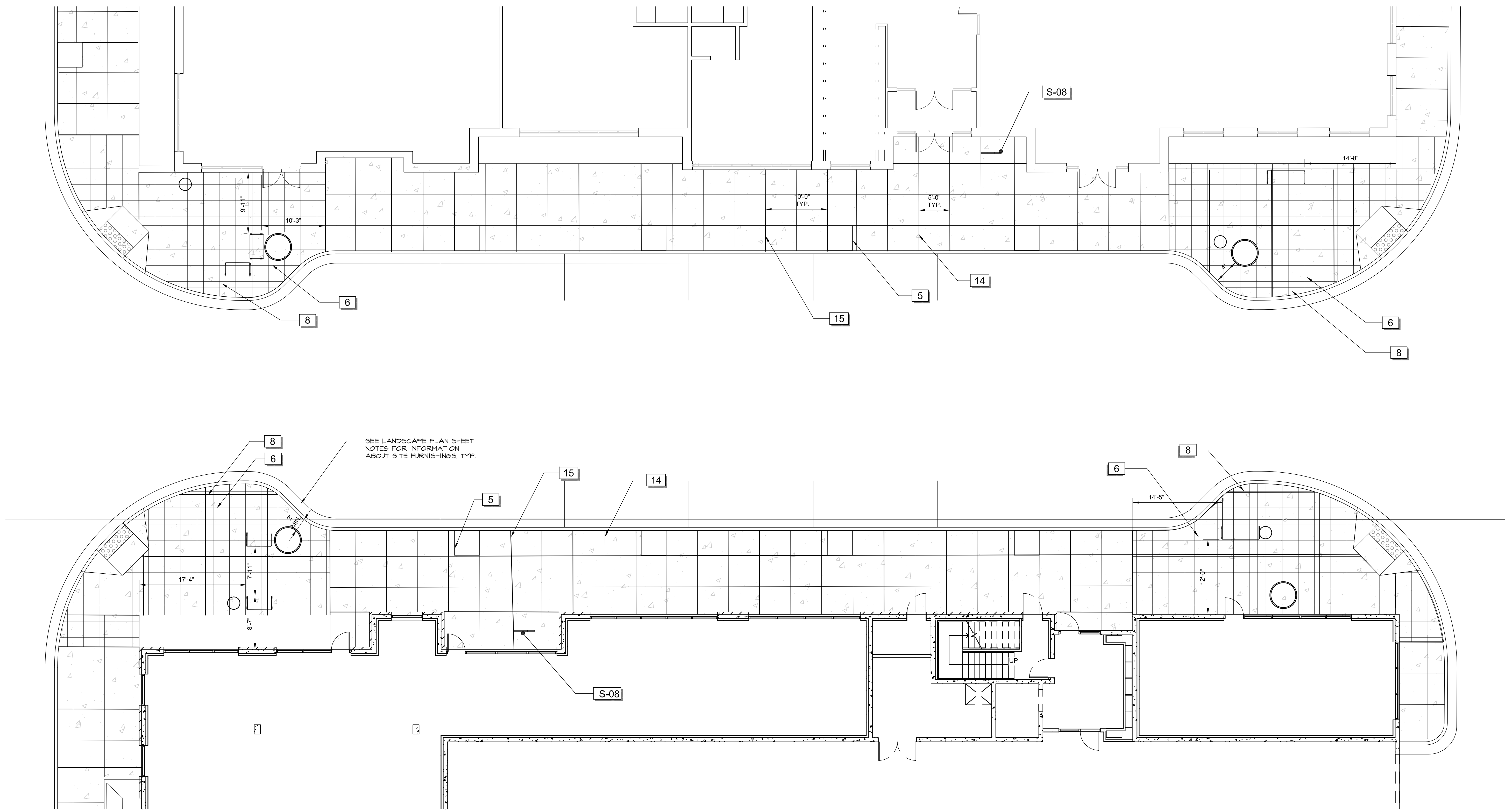


MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJ. #	2302.02
DRAWN:	JEM
CHECKED:	TLG
DATE:	05.27.16

L1.7

PLAZA LAYOUT PLAN

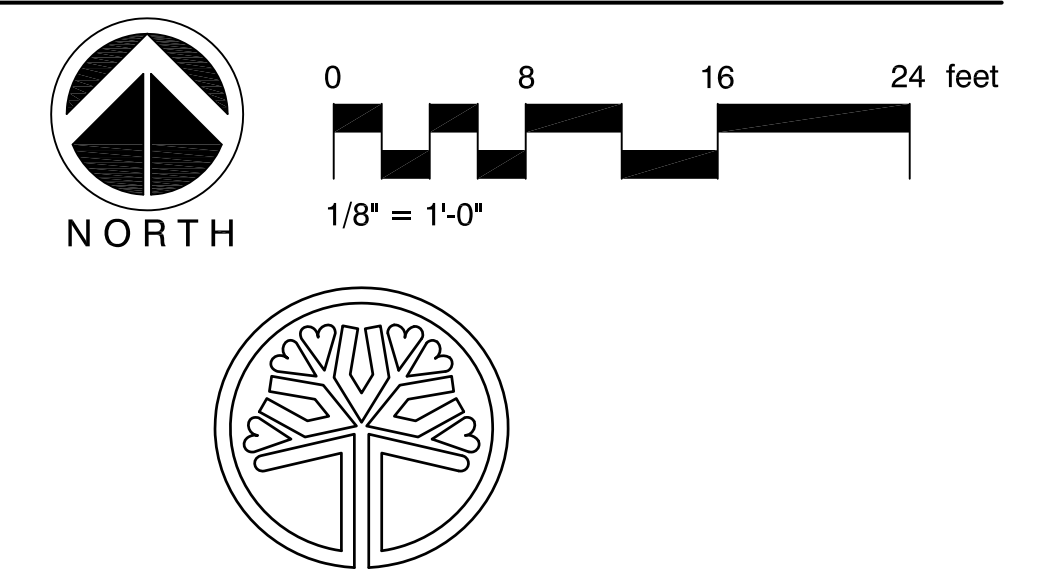


REVISIONS		
#	DESCRIPTION	DATE

REFERENCE NOTES SCHEDULE L-10

SYMBOL	DESCRIPTION
5	TREE IN GRATE, SEE DETAILS FOR MORE INFORMATION.
13	CONCRETE CONTROL JOINT @ 5' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS FOR CITY REQUIREMENTS.
14	CONCRETE EXPANSION JOINT @ 10' O.C. TYP. SEE DETAILS FOR MORE INFORMATION. SEE CIVIL PLANS
S-08	BWA2-05 5 BIKE CAPACITY BIKE RACK IN STANDARD COLOR BLACK WITH OWNER'S APPROVAL. AS AVAILABLE FROM BRP BY BISON (BRPONLINE.COM, 888-438-5311). SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS AFTER FIELD VERIFYING LOCATION WITH OWNER. FOR CITY REQUIREMENTS.

MINI-PLAZA LAYOUT PLAN



MATERIALS:
 STRUCTURAL STEEL PIPE FRAME:
 2-3/8" O.D. X .154" WALL SCH 40 STEEL
 SURFACE MOUNT PLATE: 7-1/2" Ø X 1/4" STEEL PLATE

brp by bison
 603 L Street
 Lincoln, NE 68508
 Phone: (888) 438-5311
 Fax: (888) 438-5312
 www.brpbison.com
 info@brpbison.com

SELECT DESIRED FINISH (http://brpbison.com/finishes.html):
 WEATHERBEATER MASTERCAT POWDER COATING (RECOMMENDED)
 HOT DIPPED GALVANIZED
 ECOSOFT THERMOPLASTIC
 SPECIFY COLOR: _____

CHECK DESIRED MOUNTING
 EMBEDDED (-EM):
 SURFACE MOUNT (-SM):

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

WAVE BIKE SECURITY STATION
 BWA2-05-EM, BWA2-07-EM, BWA2-09-EM, BWA2-11-EM
 BWA2-05-SM, BWA2-07-SM, BWA2-09-SM, BWA2-11-SM

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 Fax: (888) 438-5312
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 info@brpbison.com

SELECT DESIRED MODEL
 AH101-48 (48")
 AH101-72 (72")
 AH101-96 (96")
 AH101-72 (72") WITH CENTER ARMREST
 AH101-96 (96") WITH CENTER ARMREST

SELECT DESIRED FINISH (http://brpbison.com/finishes.html):
 WEATHERBEATER MASTERCAT POWDER COATING (RECOMMENDED)
 ECOSOFT THERMOPLASTIC
 SPECIFY COLOR: _____

MATERIALS:
 SEAT STRAPS: 3/16" X 1 1/2" STEEL FLAT BAR
 STRAP SUPPORTS: 1/4" X 1 1/2" STEEL FLAT BAR
 PIPE SUPPORTS: 1.315" O.D. X 0.133"
 WALL SCHEDULE 40 STEEL PIPE
 END UNITS: 1" X 1" SQUARE STEEL BAR
 SURFACE MOUNTED PLATES: 1 1/2" X 3 1/2" X 1/4" STEEL
 PLATE WITH 9/16" Ø HOLES
 MOUNTED WITH FOUR (4), CUSTOMER SUPPLIED, 1/2" Ø X
 4-5" STAINLESS STEEL ANCHOR BOLTS

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CENTER ARM REST CAN BE ADDED AT NO ADDITIONAL CHARGE TO 72" AND 96" BENCHES BY SPECIFYING ZARM.

ASHEBROOKE BACKED BENCHES
 AH101-48, AH101-72, & AH101-96

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 Lincoln, NE 68508
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 Fax: (888) 438-5312
 www.brpbison.com
 info@brpbison.com

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 SEAT STRAPS: 3/16" X 1 1/2" STEEL FLAT BAR
 STRAP SUPPORTS: 1/4" X 1 1/2" STEEL FLAT BAR
 PIPE SUPPORTS: 1.315" O.D. X 0.133"
 WALL SCHEDULE 40 STEEL PIPE
 END PLATE: 3/8" STEEL PLATE
 SURFACE MOUNTED PLATES: 7-1/2" Ø X 1/4" STEEL PLATE
 SEAT SUPPORTS: 1" X 1/2" STEEL BARS
 SUPPORT POSTS: 2" Ø SCHEDULE 40 PIPE.

SELECT DESIRED MOUNT
 SURFACE MOUNT (SM)
 EMBEDDED MOUNT (EM)

SELECT DESIRED LENGTH
 48"
 72"
 96"
 72" WITH CENTER ARMREST
 96" WITH CENTER ARMREST

SELECT DESIRED FINISH (http://brpbison.com/finishes.html):
 WEATHERBEATER MASTERCAT POWDER COATING (RECOMMENDED)
 ECOSOFT THERMOPLASTIC
 SPECIFY COLOR: _____

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

ASHEBROOKE BACKED BENCHES
 AH115-48-EM, AH115-48-RM, AH115-48-SM, AH115-72-EM, AH115-72-RM, AH115-72-SM,
 AH115-96-EM, AH115-96-RM, AH115-96-SM

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nystrom+olson
 architecture

912 W Sprague Ave, Spokane, WA 99201
 PH: 509.328.6464 web: www.nocarch.com

REVISIONS		
#	DESCRIPTION	DATE

APPROVAL:
 Signature authorizes Tourmesol Siteworks to manufacture the product as shown

PLAN VIEW
 35 3/4 42

ELEVATION
 34 36

SECTION
 42 35 3/4 2 1/2 34 36

DETAIL C
 2 1/8 2 1/2 2 7/8

NOTES: UNLESS OTHERWISE SPECIFIED
 1) MATERIAL: GLASS FIBER REINFORCED CONCRETE (GFRC)
 NOMINAL WALL THICKNESS 0.75 - 1.0"
 2) FINISH: TBD
 3) COLOR: TBD
 4) ALL DIMENSIONS ARE NOMINAL, ACTUAL SIZE MAY VARY.

DRAWN: Rudy Galindo	DATE: 3/15/2010	PROJECT: 30955 San Antonio Street, Hayward, CA 94544 (909) 942-2282	TITLE: MCS-4200
CHECKED:	SCALE: C	SIZE: 11" X 17"	NO. OF SHEETS: 1 OF 1

APPROVAL:
 Signature authorizes Tourmesol Siteworks to manufacture the product as shown

TOP VIEW
 Ø24

SIDE VIEW
 Ø20

FRONT VIEW
 19 1/4 9 1 5/8 30

DETAIL B
 RECEPTACLE CAP
 PLASTIC TRASH RECEPTACLE
 CONTAINER

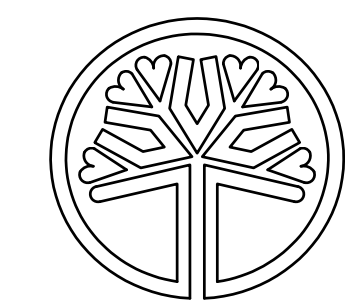
Ash-Trash Lid
 Heavy gauge aluminum spinning.
 Anodized Black.

NOTES: UNLESS OTHERWISE SPECIFIED
 1) MATERIAL: GLASS FIBER REINFORCED CONCRETE (GFRC)
 NOMINAL WALL THICKNESS 0.75 - 1.0" FOR CONTAINER
 MATERIAL: ANODIZED ALUMINUM FOR RECEPTACLE CAP
 2) FINISH: TBD
 3) COLOR: TBD

DRAWN: WUY	DATE: 11/9/2010	PROJECT: 30955 San Antonio Street, Hayward, CA 94544 (909) 942-2282	TITLE: MCS-ATR
CHECKED:	SCALE: C	SIZE: 11" X 17"	NO. OF SHEETS: 1 OF 1

MILL CREEK
 132ND STREET SE - (EGUV)
 MILL CREEK, WASHINGTON

PROJ. # 15-0103
 DRAWN: JEM
 CHECKED: TLG
 DATE: 05.27.16



L1.11
 SITE HARDSCAPE DETAILS
 CUT SHEETS

VINTAGE PLANT PHOTOS - MILL CREEK, WASHINGTON



'BOWHALL' MAPLE



'SATOMI' KOUSA DOGWOOD



'SKYLINE' HONEYLOCUST



'CHANTICLEER' FLOWERING PEAR



'GREEN VASE' ZELKOVA



WEEPING ALASKA CEDAR



SLENDER HINOKI CYPRESS

Attachment 10

PLANT LIST - TREES

JEFFREY B. GLANDER & ASSOCIATES, PLLC
Landscape Architecture | Site Planning

1821 4th Avenue E. Olympia, WA 98506
ph. (360) 357-6972
fx. (360) 786-8073

www.glanderassociates.com



VINTAGE PLANT PHOTOS - MILL CREEK, WASHINGTON



'GOLD DUST' AUCUBA



'GIRARD'S ROSE' AZALEA



'HINO CRIMSON' AZALEA



'KAREN' AZALEA



'GULF STREAM' NANDINA



'OTTO LUYKEN' LAUREL



'MT. VERNON' LAUREL



CREeping SARCOCOCCA



SKIMMIA



'EMERALD GREEN' ARBORVITAE



DAVID VIBURNUM

PLANT LIST - EVERGREEN SHRUBS

JEFFREY B. GLANDER & ASSOCIATES, PLLC
Landscape Architecture Site Planning

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VINTAGE PLANT PHOTOS - MILL CREEK, WASHINGTON



'CRIMSON PYGMY' BARBERRY



'ISANTI' RED-TWIG DOGWOOD



'KELSEY' RED-TWIG DOGWOOD



'MT. AIRY' FOTHERGILLA



OAK-LEAF HYDRANGEA



CREEPING SNOWBERRY



COMPACT OREGON GRAPE



'MAGIC CARPET' SPIREA



'SUMMER SNOWFLAKE' VIBURNUM



TALL OREGON GRAPE



CREEPING MAHONIA



SWORD FERN



SALAL

PLANT LIST - DECIDUOUS AND NATIVE SHRUBS

JEFFREY B. GLANDER & ASSOCIATES, PLLC
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VINTAGE PLANT PHOTOS - MILL CREEK, WASHINGTON



FEATHER REED GRASS



BLUE OAT GRASS



'HAMELN' DWARF FOUNTAIN GRASS



BLUE FESCUE



PT. REYES CEANOTHUS



'CORAL BEAUTY' COTONEASTER



PURPLE-LEAF WINTER CREEPER



COMMON PERIWINKLE



'HAPPY RETURNS' DAYLILY



'PATRIOT' HOSTA

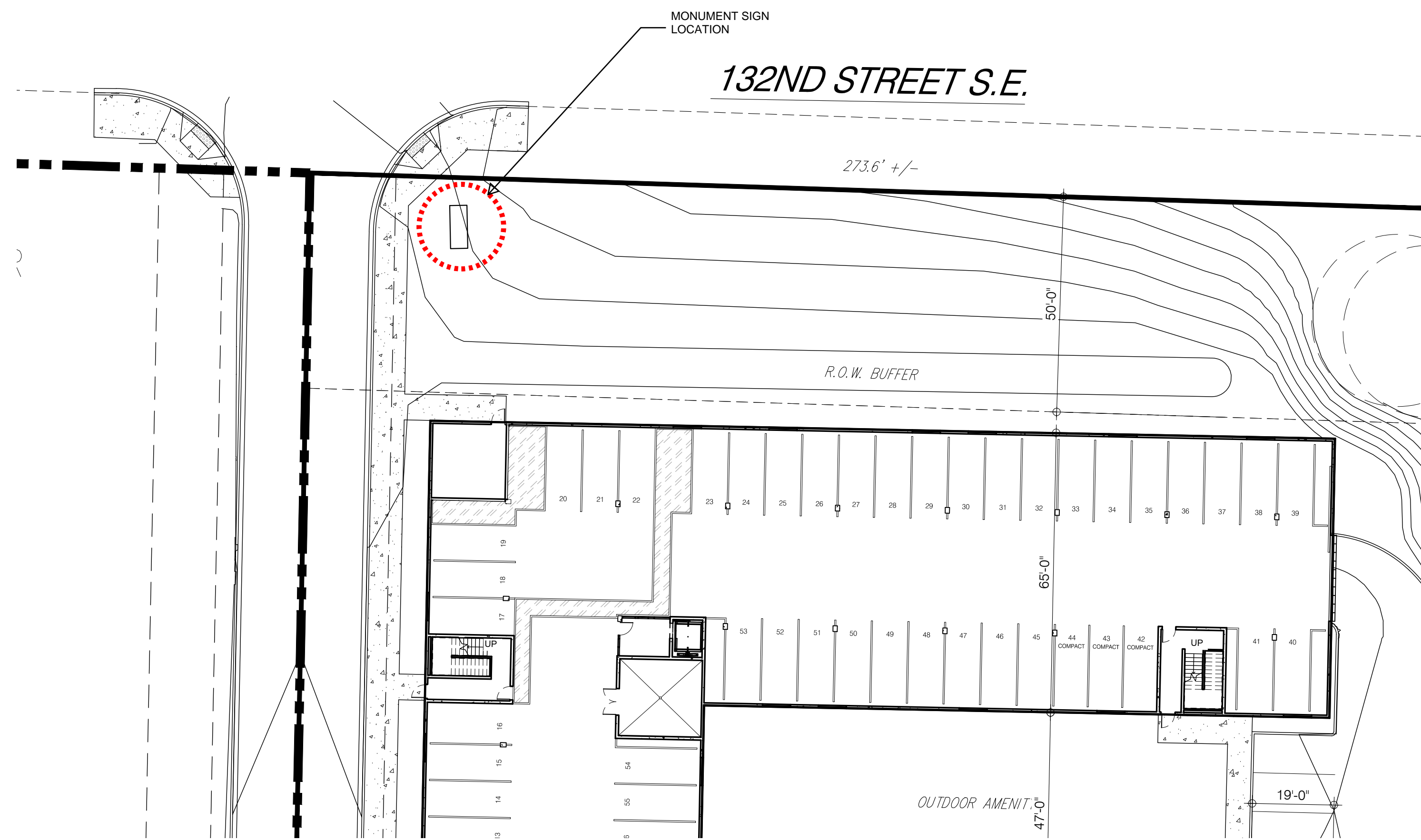
PLANT LIST - GRASSES, GROUNDCOVERS, PERENNIALS

JEFFREY B. GLANDER & ASSOCIATES, PLLC
Landscape Architecture Site Planning

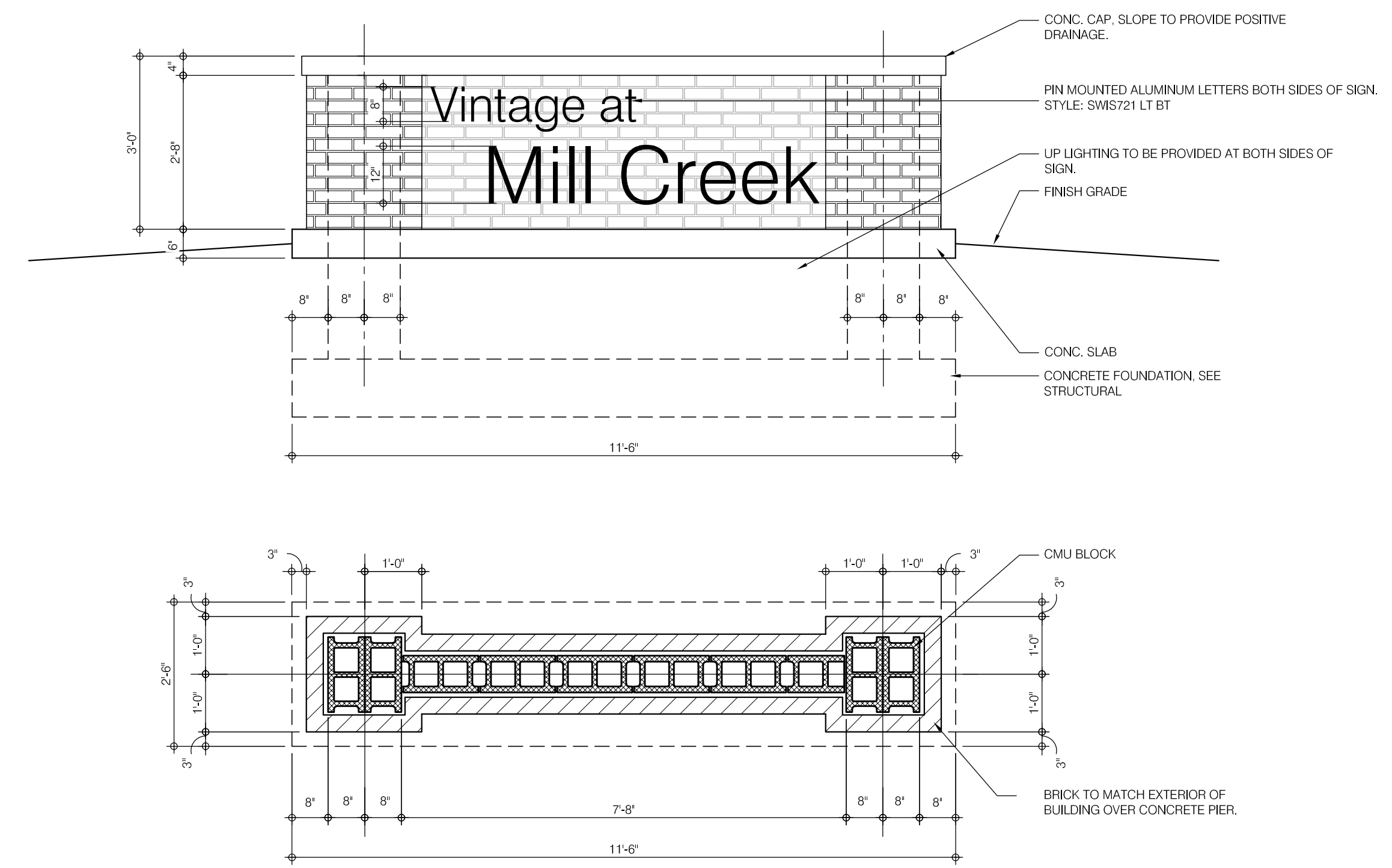
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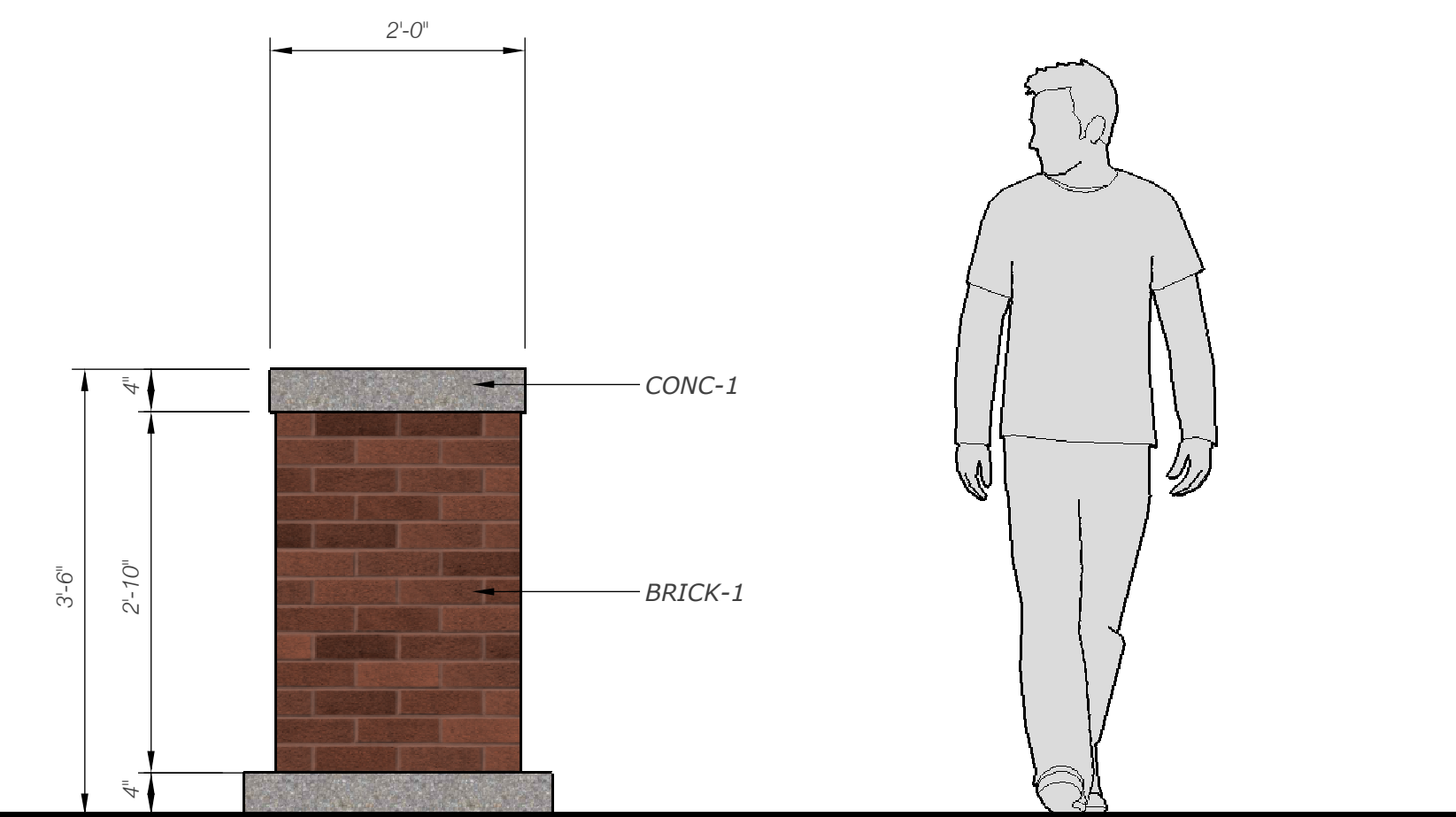
01 SITE PLAN - SIGN LOCATION



02 PYLON SIGN
SCALE: 1/2" = 1'-0"



03 WEST SIGN ELEVATION
SCALE: 3/4" = 1'-0"



04 NORTH SIGN ELEVATION
SCALE: 3/4" = 1'-0"

REVISIONS		
#	DESCRIPTION	DATE